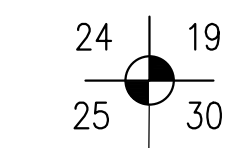


# PRELIMINARY PLAT FOR PEBBLEBROOK SUBDIVISION

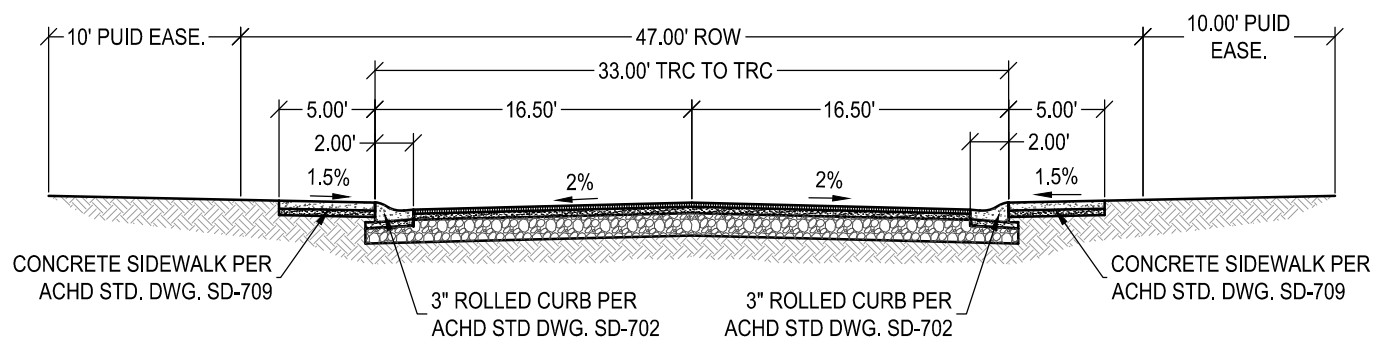
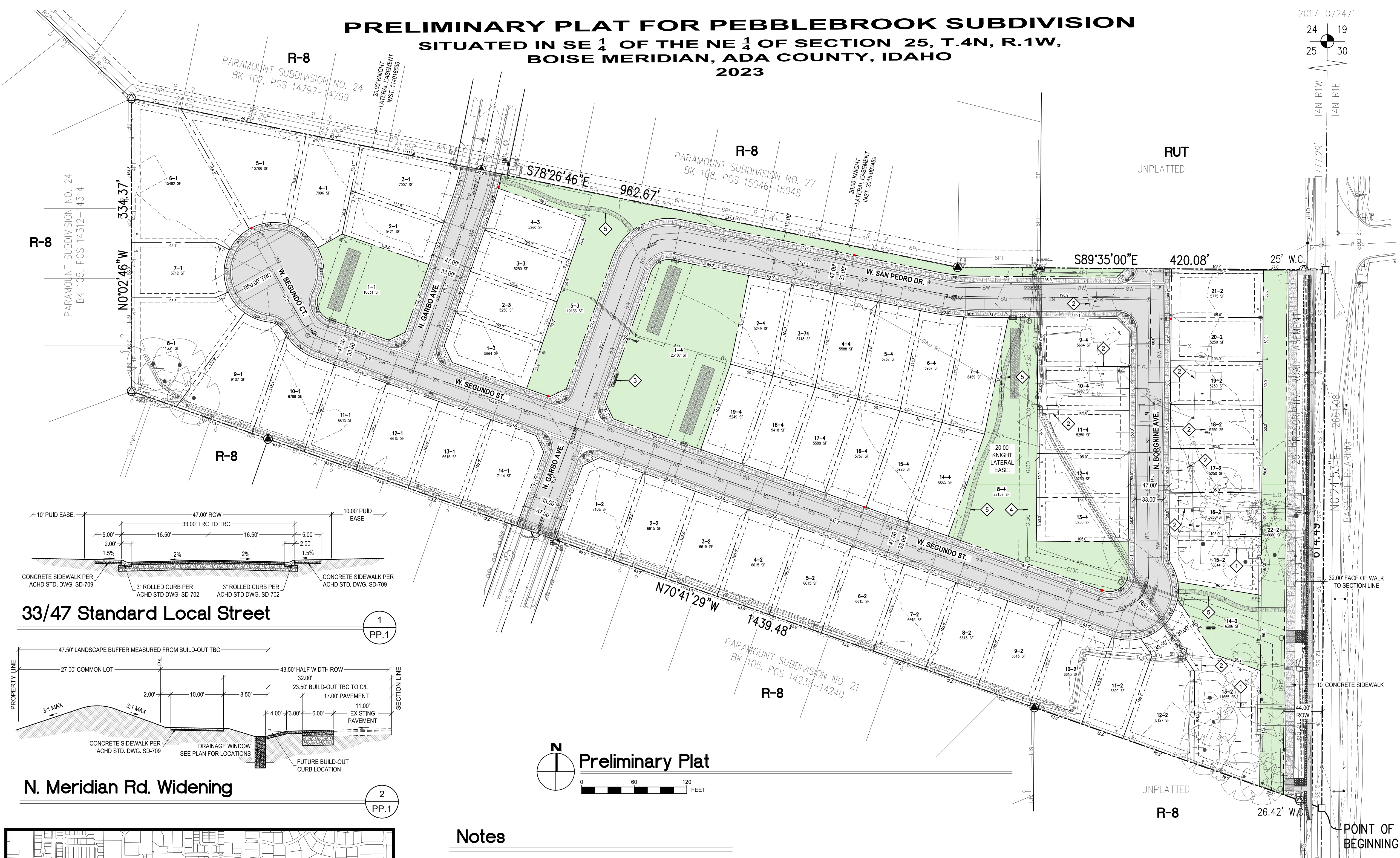
## SITUATED IN SE 1/4 OF THE NE 1/4 OF SECTION 25, T.4N, R.1W, BOISE MERIDIAN, ADA COUNTY, IDAHO 2023

2017-07/24/1



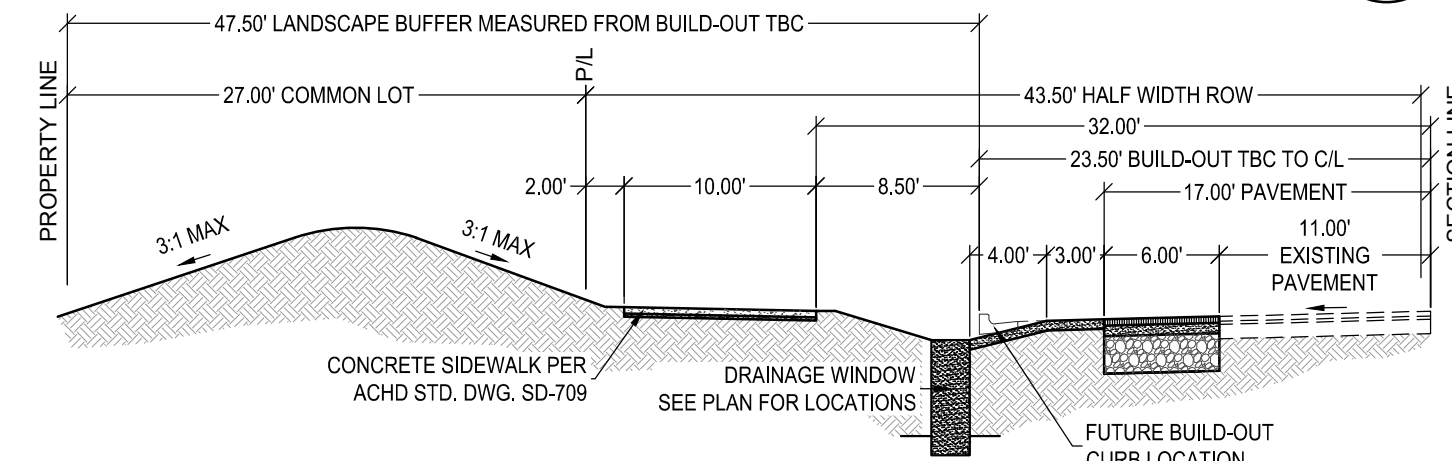
### Legend

|  |                                      |
|--|--------------------------------------|
|  | FOUND BRASS/ALUMINUM CAP             |
|  | 5/8" IRON PIN WITH PLASTIC CAP       |
|  | CALCULATED POINT                     |
|  | FOUND 5/8" IRON PIN WITH PLASTIC CAP |
|  | FOUND 1/2" IRON PIN WITH PLASTIC CAP |
|  | SET 1/2" IRON PIN WITH PLASTIC CAP   |
|  | EXISTING SEWER                       |
|  | EXISTING WATER                       |
|  | EXISTING CABLE                       |
|  | EXISTING CENTERLINE                  |
|  | EXISTING DITCH                       |
|  | EXISTING EDGE OF GRAVEL              |
|  | EXISTING EDGE OF PAVEMENT            |
|  | EXISTING FENCE                       |
|  | EXISTING FIBER OPTICS                |
|  | EXISTING GAS                         |
|  | EXISTING GRAVITY IRRIGATION          |
|  | EXISTING JOINT TRENCH                |
|  | EXISTING OVERHEAD POWER              |
|  | EXISTING PRESSURE IRRIGATION         |
|  | EXISTING STORM                       |
|  | EXISTING TELEPHONE                   |
|  | EXISTING TELEPHONE & FIBER           |
|  | EXISTING TOE OF SLOPE                |
|  | EXISTING TOP OF BANK                 |
|  | EXISTING UNDERGROUND POWER           |
|  | PROPOSED SEWER                       |
|  | PROPOSED WATER                       |
|  | PROPOSED STORM DRAIN                 |
|  | PROPOSED PRESSURE IRRIGATION         |
|  | PROPOSED GRAVITY IRRIGATION          |
|  | PROPOSED EDGE OF PAVEMENT            |
|  | PROPOSED EDGE OF GRAVEL              |
|  | PROPOSED SAWCUT                      |
|  | PROPOSED DITCH CENTERLINE            |
|  | PROPOSED TOP OF BANK                 |
|  | PROPOSED TOE OF SLOPE                |
|  | EASEMENT                             |
|  | EXISTING TREE                        |
|  | EXISTING LIGHT                       |
|  | EXISTING MAILBOX                     |
|  | EXISTING CONTOUR                     |
|  | PROPOSED CONTOUR                     |
|  | EXISTING SIGN                        |
|  | EXISTING MANHOLE                     |
|  | EXISTING FIRE HYDRANT                |
|  | PROPOSED FIRE HYDRANT                |
|  | PROPOSED VALVE                       |
|  | PROPOSED SAND AND GREASE TRAP        |
|  | CONCRETE CURB AND GUTTER             |
|  | CONCRETE                             |
|  | IRRIGATION BOX                       |



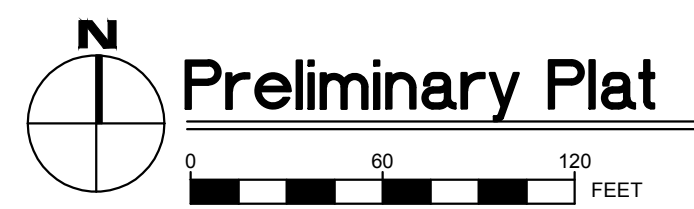
33/47 Standard Local Street

1  
PP.1

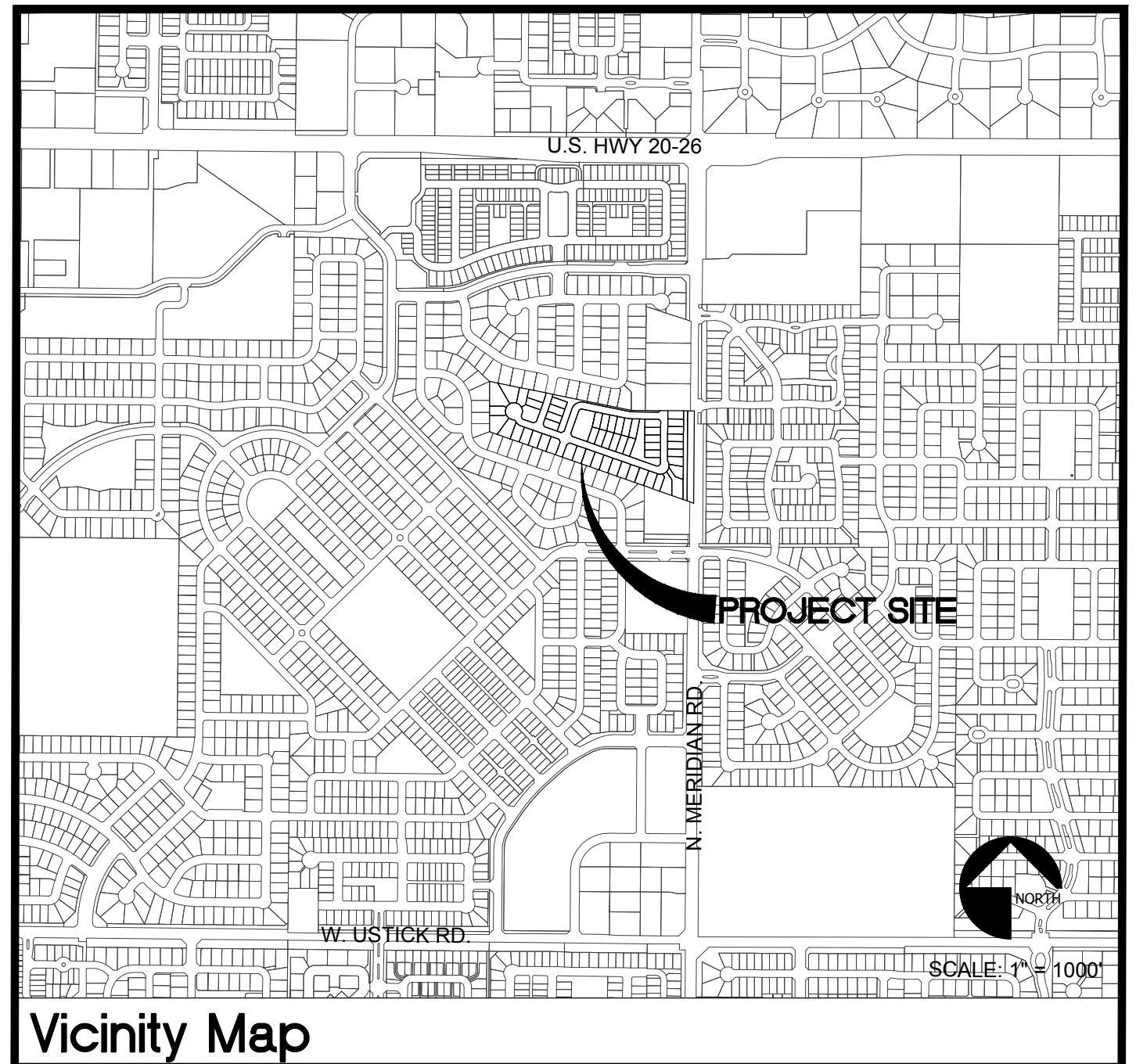


N. Meridian Rd. Widening

2  
PP.1



Preliminary Plat



Vicinity Map

### Notes

- CURRENT ZONING: RUT; PROPOSED ZONING: R-8.
- SANITARY SEWER SERVICE TO BE PROVIDED BY EXTENSION OF CITY OF MERIDIAN SEWER SYSTEM.
- DOMESTIC WATER SERVICE TO BE EXTENDED FROM CITY OF MERIDIAN WATER SYSTEM.
- THE DEVELOPMENT OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE APPLICABLE CITY OF MERIDIAN ZONING AND BUILDING ORDINANCES.
- THIS PARCEL IS NOT LOCATED WITHIN A FEMA MAPPED FLOODPLAIN.
- PUBLIC UTILITY, IRRIGATION, AND DRAINAGE EASEMENTS ARE AS FOLLOWS:
  - ALL COMMON LOTS ARE HEREBY DESIGNATED AS HAVING A BLANKET EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND DRAINAGE.
  - ALL BUILDING LOT FRONTAGES TO PUBLIC STREETS HAVE A 10-FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND DRAINAGE, MEASURED FROM THE PROPERTY LINE.
  - ALL INTERIOR SIDE LOT LINES HAVE A 5-FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND DRAINAGE.
  - ALL REAR LOT LINES HAVE A 10-FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND DRAINAGE.
  - A 10-FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND DRAINAGE, IS DESIGNATED ADJACENT TO THE SUBDIVISION BOUNDARY.
- IRRIGATION WATER WILL BE PROVIDED TO EACH LOT IN ACCORDANCE WITH IDAHO CODE 31-3805 (1)(B). THIS SUBDIVISION IS LOCATED WITHIN THE SOUTH SLOUGH WATER USER'S ASSOCIATION. ALL LOTS SHALL BE SUBJECT TO THE ASSESSMENTS OF SAID ASSOCIATION.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS WITHIN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF MERIDIAN.
- LOTS (L-B) 1-1, 14-2, 22-2, 5-3, 1-4 AND 8-4 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNER'S ASSOCIATION, OR ITS ASSIGNS.
- DIRECT BUILDING LOT ACCESS TO N. MERIDIAN RD. IS PROHIBITED.

### Parcels Included

|            |   |
|------------|---|
| PARCEL # 1 | 5725 N. MERIDIAN RD.<br>MERIDIAN, ID 83646<br>S0425141990 - 4.81 ACRES<br>T.4N, R.1W, SEC. 25 |
| PARCEL # 2 | N. MERIDIAN RD.<br>MERIDIAN, ID 83646<br>S0425142030 - 8.735 ACRES<br>T.4N, R.1W, SEC. 25     |

### Contacts

|                            |   |
|----------------------------|---|
| DEVELOPER                  | TE AMO DESPACIO, LLC<br>1406 N. MAIN ST. STE 109<br>MERIDIAN, ID 83642<br>CELL: 208.869.9785                          |
| ENGINEER                   | ERICKSON CIVIL, INC.<br>ROSS ERICKSON, P.E.<br>6213 N. CLOVERDALE RD. STE 125<br>BOISE, ID 83705<br>OFF: 208.846.8955 |
| PROFESSIONAL LAND SURVEYOR | LAND SOLUTIONS<br>CLINT HANSEN, P.L.S.<br>251 E. 5TH ST. STE A<br>MERIDIAN, ID 83642<br>OFF: 208.208.2040             |

### PROJECT DETAILS

EXISTING ZONING: RUT  
PROPOSED ZONING: R-8  
TOTAL ACERAGE WITH N. MERIDIAN RD. PRESCRIPTIVE ROW 607,273 SF  
13.94 AC +/-

### LOT SUMMARY

|                                |  |               |
|--------------------------------|--|---------------|
| RESIDENTIAL LOT SUMMARY        | TOTAL SINGLE FAMILY DETACHED             | 54 LOTS       |
| RESIDENTIAL BUILDING LOT TOTAL |  | 54 LOTS       |
| COMMON LOT SUMMARY             | COMMON LOTS                              | 6 LOTS        |
| COMMON LOT TOTAL               |  | 6 LOTS        |
| DENSITY SUMMARY:               | TOTAL AREA =                             | 13.94 AC      |
|                                | GROSS RESIDENTIAL BUILDING LOT DENSITY = | 3.87 UNITS/AC |
|                                | NET RESIDENTIAL BUILDING LOT DENSITY =   | 6.69 UNITS/AC |
|                                | TOTAL RESIDENTIAL BUILDING LOTS =        | 54 LOTS       |
|                                | MINIMUM LOT SIZE =                       | 5250 SF       |
|                                | ROW AREA =                               | 157295 SF     |
|                                | BUILDING LOT AREA =                      | 351790 SF     |
|                                | COMMON LOT AREA =                        | 98188 SF      |

### OPEN SPACE/Common Lot Summary

| LOT #                                      | DESCRIPTION                               | Actual AREA (SF) | Actual AREA (AC) | Qualified Open Space Credit | Qualified Open Space Area (SF) |
|--|---|------------------|------------------|-----------------------------|--------------------------------|
| 1-1  | OPEN GRASSY AREA > 5,000 SF               | 10631            | 0.244            | 100%                        | 10631                          |
| 14-2                                       | OPEN GRASSY AREA > 5,000 SF W/ MICRO PATH | 6306             | 0.145            | 100%                        | 6306                           |
| 22-2                                       | N. MERIDIAN RD. ENTRYWAY CORRIDOR BUFFER  | 28420            | 0.652            | 50%                         | 14210                          |
| 5-3  | OPEN GRASSY AREA > 5,000 SF W/ MICRO PATH | 19133            | 0.439            | 100%                        | 19133                          |
| 1-4  | OPEN GRASSY AREA > 5,000 SF               | 23107            | 0.530            | 100%                        | 23107                          |
| 8-4  | OPEN GRASSY AREA > 5,000 SF               | 22157            | 0.509            | 100%                        | 22157                          |
| <b>TOTAL</b>                               |   | <b>109754</b>    | <b>2.520</b>     |                             | <b>95544</b>                   |
| <b>TOTAL PROJECT AREA</b>                  |   | <b>607273 SF</b> |                  |                             |                                |
| <b>TOTAL QUALIFIED OPEN SPACE PROVIDED</b> |   | <b>95544 SF</b>  |                  |                             |                                |
| <b>TOTAL QUALIFIED OPEN SPACE %</b>        |   |                  | <b>15.73%</b>    |                             |                                |

OWNER: TE AMO DESPACIO, LLC  
PROJECT TITLE: PEBBLEBROOK SUBDIVISION  
MERIDIAN, ID

6213 N. Cloverdale Rd.  
Suite 125  
Boise, ID 83705  
1-208-846-8955  
208-867-9354  
ross@ericksoncivil.com

erickson CIVIL

| NO. | DATE   | REVISION                  |
|-----|--------|---------------------------|
| 1   | 2.2.22 | PRELIMINARY PLAT REVISION |

PREPARED BY: ERICKSON CIVIL, INC.  
DATE: 12-13-23  
JOB NUMBER: IDB2338  
SHEET NUMBER: PP.1

Pebblebrook Subdivision – Architectural Design Standards Comparison

| TOPIC   | DESIGN STANDARDS  | PROPOSED PEBBLEBROOK SUBDIVISION  |
|---|---|---|
| Minimum Sqft  | Standard: Minimum s.f. (determined by phase) of finished space exclusive of basements, garages, storage rooms, covered patios, etc.   | 1,574 to 2,968 sqft mix of single-story and two-story single-family detached homes  |
| Exterior Elevations<br>Windows                          | Boxed out windows, dormer windows   | Dormer windows on select plans. Boxed out windows (two-story plans and Snowbrush Plan)  |
| Exterior Elevations<br>Covered Entries                  | Covered entries and other significant jogs in exterior walls are encouraged   | Covered entries provided on all plan types  |
| Exterior Elevations<br>Garage Elevations                | Stacked rooms over garages shall incorporate a change in the front plane of the garage to avoid large, unbroken vertical surfaces   | All two-story plans with stacked rooms over garages are setback with a shed roof element or popout to incorporate a change in the front plane   |
| Exterior Elevations<br>Roofs                            | The minimum pitch for roofs, excluding roofs at porches and deck covers, shall be 6/12. Low-profile roofs with predominant pitch of 4/12 or 5/12 must be consistent with a classic architectural style  | All roofs are designed with a 6/12 pitch  |
| Exterior Elevations<br>Roof Trim                        | Heavier stacked fascia – minimum 12”; and/or Corbels, exposed rafters or other details that are true to this style  | All roof trim is 8” fascia with 3” shadow board. Corbels on select plans.   |
| Exterior Elevations<br>Corner Lots                      | Transitional two-story or 1-1/2 story homes may be located on corner lots provided that the single-story portion of the home is located adjacent to the corner or side street and is approved by the ACC.   | Homebuyers will be given the opportunity to purchase any available plan type on their lot. Therefore, no restrictions are proposed on the ability to place a Single-Story or Two-story home on the corner lots. |
| Exterior Elevations<br>Two-story homes                  | Two-story homes are prohibited on homesites backing up to main arterial streets, unless the rear elevation has a single-story appearance.   | An enhanced landscape buffer along the 27ft wide common area along Meridian Road is proposed to reduce the impact of plotting two-story homes on Lots 15-21 block 2.  |
| Exterior Finishes and Colors<br>Brick, Stone, or Stucco | Subject to compatibility with the overall architectural style and design, all homes, except as noted below, shall be required to incorporate brick, stone, or stucco in the exterior finish. Architectural and aesthetic balance shall be a primary concern in determining how much brick, stone, or stucco will be required. In most cases, brick, stone or stucco will be required to wrap the corners a minimum of 24”. Brick or stone may be required to extend further in cases where there is a more logical terminus point. Requests for exceptions must be approved in advance by the ACC. Brick, stone, and stucco colors shall be compatible with the exterior paint colors selected and approved by the ACC. | Masonry Stone is proposed on all front elevations and will return a minimum of 18” on the sides. Refer to Stone Specs provided for color and style of masonry   |

Pebblebrook Subdivision – Architectural Design Standards Comparison

| TOPIC  | DESIGN STANDARDS   | PROPOSED PEBBLEBROOK SUBDIVISION   |
|--|--|--|
| Exterior Finishes and Colors Siding                      | 8” true lap, 5” cottage lap, cedar shake or board and batten. Other types of siding not contemplated herein are subject to written approval by the ACC. Steel, aluminum, or vinyl siding are prohibited. Stucco exterior shall incorporate appropriate articulation, such as 6” trim around windows, 12” intermediate horizontal bands at 2-story elements, belly bands, frieze boards, etc. In general, if stucco is used on the front elevation it shall also be used on the side and rear elevations. Other types of siding not contemplated herein are subject to written approval by the ACC. Steel, aluminum, or vinyl siding is prohibited. | Combination of 8” true lap vertical siding and board and batten with trim banding.   |
| Exterior Finishes and Colors Solar Panels                | Not applicable   | No solar panels proposed   |
| Exterior Finishes and Colors Exterior Paint Colors       | Exterior wall colors and trim colors must be selected for their harmony with each other and the overall aesthetic goals of Paramount. Exterior colors of earth tones, warm tones, whites, or grays shall be required for the body of the house. Bright, bold or very dark colors (i.e. blue, red, yellow) shall not be allowed.  | Exterior colors of earth tones, warm tones, and grays are proposed. Refer to Color Materials Spec sheet provided.  |
| Exterior Finishes and Colors Roof                        | Roofs shall be Owens Corning, or similar, 30-year or better architectural asphalt shingles. Color shall be Black.  | Black, Architectural IKO Shingles are proposed. Refer to Roof Material Spec provided   |
| Exterior Finishes and Colors Rain Gutters                | Rain gutters are required throughout, shall be continuous, and shall be painted to match the color of the surface to which they are attached.  | Rain gutters shall be provided throughout with a solid pre-manufactured color to compliment fascia/trim color of each color scheme. Painted rain gutters are not proposed. |
| Exterior Finishes and Colors Fascia Trim                 | Roof fascia shall be a minimum of 8” width. Gables shall incorporate stacked trim detailing.   | Roof fascia shall be a minimum of 8” width. Gables shall incorporate stacked trim detailing.   |
| Exterior Finishes and Colors Architecture Detail/Accents | Special attention should be paid to architectural details. Proper proportioning of elements will be considered. Decorative wood applications such as columns, corbels, crown, dentil molding and heavy window trim are required. Dormers, gables, bayed windows, and porches are encouraged.   | Enhanced architecture details are proposed. Columns vary per elevation style Window trim, per elevation style  |
| Exterior Finishes and Colors Chimneys                    | Chimneys may be restricted for size and location. All full height chimneys shall have an architectural metal chimney cap that fully encloses the chimney pipes and painted as approved by the ACC.   | Chimneys are not proposed. All fireplaces proposed as gas appliance fireplaces with exterior wall venting.   |

Pebblebrook Subdivision – Architectural Design Standards Comparison

| TOPIC   | DESIGN STANDARDS  | PROPOSED PEBBLEBROOK SUBDIVISION   |
|---|---|--|
| Exterior Finishes and Colors<br>Address Plaques | Address plaques or numbers shall be metal construction and shall be sized and located per Meridian City requirements.   | Address plaques or numbers shall be metal construction and shall be sized and located per Meridian City requirements.  |
| Garages and Driveways                           | <p>Interiors of garages shall be sheetrocked, taped, sanded and painted or sheetrocked, taped, sanded and textured. Wood trim around doors and windows shall be painted.</p> <p>Driveways shall not extend more than one foot past the edge of the garage doors and shall be minimized at the curb where practical to provide additional space for landscaping.</p> <p>Although RV garages are not prohibited, plans submitted with RV garages will be subjected to a more detailed review process and may be denied by ACC.</p>  | <p>Interior of garages shall be sheetrock and taped. Sanded and painted interiors are not proposed.</p> <p>Driveways shall not extend more than one foot past the edge of the garage doors and shall be minimized at the curb.</p> <p>RV garages are not proposed.</p> |
| Detached Storage Facilities                     | Not applicable  | Detached Storage Facilities are not proposed   |
| Fences  | Wood Fencing: All wood fencing shall be constructed according to the details for Fence Type A (see Exhibit - Fence Details). All fencing shall be completely stained with semi-transparent pigmented wood finish, color to be Sherwin Williams, 8609 South Tahoe Brown, and shall be maintained by the Owner in good repair.  | Wood fencing is proposed. All wood fencing shall be constructed according to the details for Fence Type A. All fencing shall be completely stained with semi-transparent pigmented wood finish, color to be Sherwin Williams, 8609 South Tahoe Brown                   |
| Landscaping<br>(Standard Lots)                  | <ol style="list-style-type: none"> <li>1. An automatic underground sprinkler system shall be installed throughout.</li> <li>2. Except at garden bed locations, sod shall be laid throughout.</li> <li>3. Trees shall be planted in the streetside parkway strips, front yards, corner yards and rear yards according to the following minimum standards: <ol style="list-style-type: none"> <li>a) Deciduous trees shall be 2½" caliper or larger and evergreen trees shall be 8' high or larger. (Caliper measured 6" above the soil.)</li> <li>b) Parkway strip – interior lots: At least one tree shall be planted in the parkway strip.</li> <li>c) Parkway strip – corner lots: In addition to the required above, all corner lots shall be required to plant an additional deciduous tree 2/3 down from the front lot line to the rear lot line. Trees shall be of</li> </ol> </li> </ol> | <p>Builder shall install front yard landscaping in compliance with the ACC guidelines noted here.</p> <p>Rear yards landscape installation will be the responsibility of individual homeowners.</p>  |

Pebblebrook Subdivision – Architectural Design Standards Comparison

| TOPIC             | DESIGN STANDARDS  | PROPOSED PEBBLEBROOK SUBDIVISION  |
|-------------------|---|---|
|                   | <p>a type and variety approved by the City Building Official and the Paramount ACC.</p> <p>d) Evasive species should be avoided, such as Willow trees.</p> <p>Trees: Each front yard, exclusive of the parkway strip, shall contain 2 additional trees. In addition to the shrub requirement, 5 additional 5-gallon shrubs may be substituted for one of the trees required in the front yard if approved by the ACC. Corner lots with side yard street frontage shall include 1 deciduous tree. The rear yard shall be required to have one tree per 1,500 sq. ft. of yard.</p> <p>Shrubs: Each front yard shall have a minimum of 12-15 shrubs 2-gallons or larger. Each corner lot side yard shall have a minimum of 9 shrubs 2-gallons or larger. Each rear yard shall have a minimum of 9 shrubs 2-gallons or larger.</p> <p>Planter beds planted with shrubs and flowers shall cover a minimum of 25% of the front yard, 20% of the side yard on corner lots, and 15% of the rear yards</p> |   |
| Exterior Lighting | <p>Each home shall provide front yard exterior lighting by one of the following methods:</p> <ul style="list-style-type: none"> <li>• A front yard light on masonry monument with a 60 watt bulb shall be installed within 10 feet of the front property line. The light shall have a photosensitive switch that automatically activates the light in the evenings. The masonry monument pole will be consistent with the exterior material selection for the home.</li> <li>• A minimum of two Dark Sky wall mounted lights with a 60 watt bulb or Dark Sky canned lighting shall be installed at the front of each home in a location that will provide light to the front yard and adjoining street. The lights shall have photosensitive switches that automatically activate the lights in the evenings.</li> </ul>  | <p>All homes shall include a minimum of two Dark Sky wall mounted lights with a 60-watt bulb or Dark Sky canned lighting shall be installed at the front of each home in a location that will provide light to the front yard and adjoining street. The lights shall be installed on a photosensitive sensor that automatically activate the lights in the evenings. Refer to Exterior Lighting Spec provided</p> |
| Mailboxes         | <p>Mailboxes and newspaper receptacles will be provided by developer. No exceptions or substitutions are permitted unless otherwise approved in writing by the ACC.</p>   | <p>Cluster mailboxes units will be installed by the Developer adjacent to a common area lot.</p>  |

Pebblebrook Subdivision – Architectural Design Standards Comparison

| TOPIC                    | DESIGN STANDARDS  | PROPOSED PEBBLEBROOK SUBDIVISION   |
|--------------------------|---|--|
| Elevation of Foundations | Unless otherwise approved, foundations shall be set a minimum of 18” and a maximum of 24” above the back of curb elevation. Buyer shall take all necessary steps in setting the foundation elevation to ensure that drainage onto neighboring properties will be eliminated. All drainage from buyer’s lot will be retained on site or drained into the adjoining street. | Foundations shall be set a minimum of 18” and a maximum of 24” above the back of curb elevation. Foundation elevations shall be set to ensure that drainage onto neighboring properties will be eliminated. All drainage from buyer’s lot will be retained on site or drained into the adjoining street. |

ALL RIGHTS RESERVED. ANY REPRODUCTION WITHOUT THE DESIGNER'S WRITTEN CONSENT IS STRICTLY PROHIBITED.

NOTICE: THESE PLANS ARE NOT STAMPED BY AN ENGINEER OR ARCHITECT. LOCAL BUILDING CODES AND/OR OTHER APPLICABLE LAWS, CODES, RULES OR ORDINANCES MAY REQUIRE THESE PLANS TO BE STAMPED BY AN ENGINEER AND/OR ARCHITECT PRIOR TO RECEIPT OF A BUILDING PERMIT. OWNER, CONTRACTORS, AND/OR AGENTS ARE SOLELY RESPONSIBLE FOR OBTAINING SUCH STAMPS.

ALL INFORMATION ON THESE PLANS SHOULD BE VERIFIED BY OWNER AND/OR ITS CONTRACTORS OR AGENTS AS TRUE AND CORRECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE DESIGNER OF THESE PLANS MAKES NO REPRESENTATION OR WARRANTY REGARDING THESE PLANS AND THE OWNER ACKNOWLEDGES THAT THE DESIGNER, HEREOF AND THEREOF SHALL NOT IN ANY WAY BE LIABLE FOR OR WITH RESPECT TO THE SUITABILITY OF THESE PLANS FOR OWNER'S AND/OR ITS CONTRACTORS OR AGENTS ACTUAL OR INTENDED USE OR FOR ANY USE WHATSOEVER OR COMPLIANCE WITH ANY APPLICABLE FEDERAL, STATE, OR LOCAL LAW, CODE, RULE, OR ORDINANCE.



2484 SW GLACIER PLACE  
 REDMOND, OR 97756  
 PHONE 541-923-6607 FAX 541-548-0761

**HAYDEN HOMES**

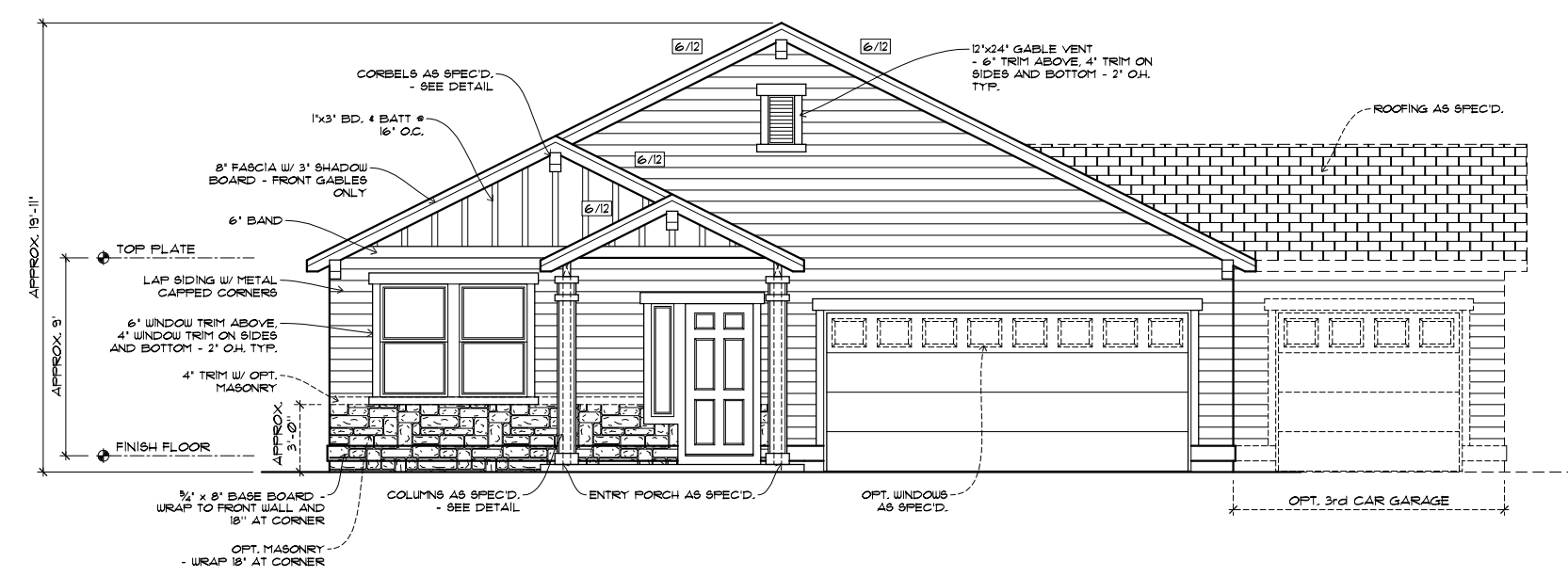
**THE HUDSON**  
 1574 SQ. FT.

REVISIONS

PARAMOUNT

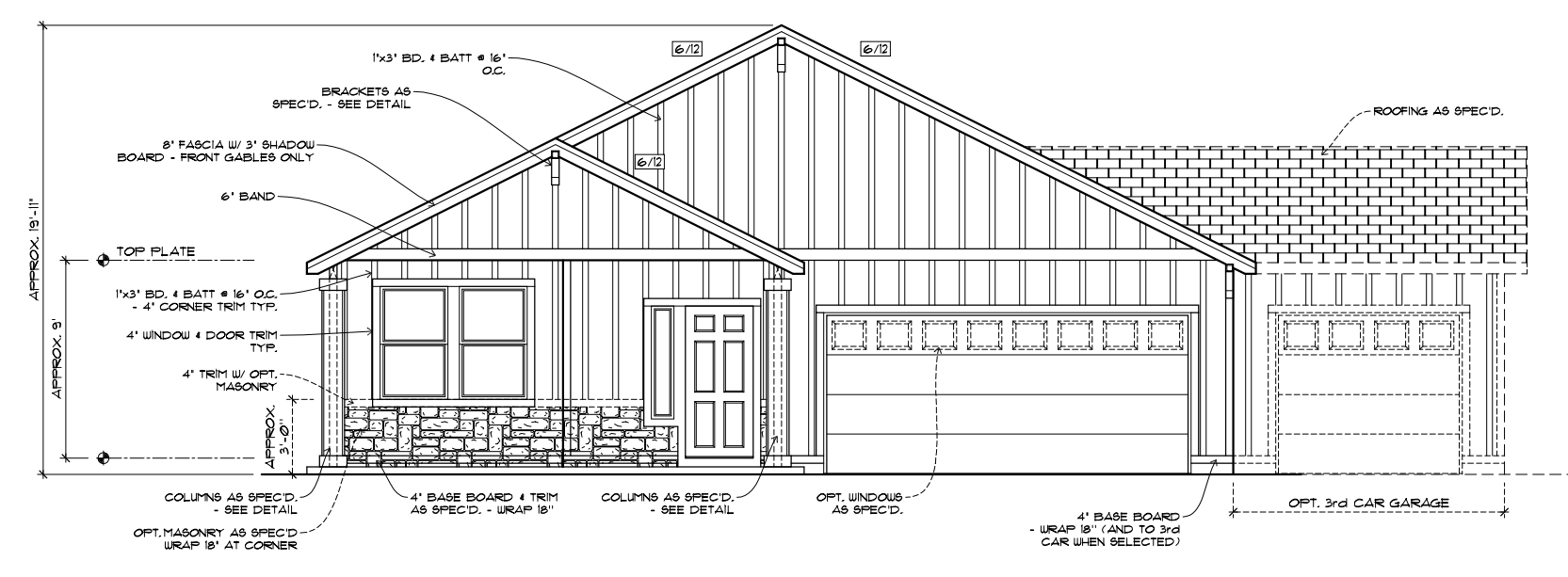
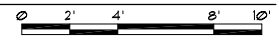
ELEVATIONS

A1



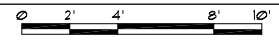
**CRAFTSMAN ELEVATION**

SCALE: 1/4" = 1'-0" (24 x 36 SHEET)  
 SCALE: 1/8" = 1'-0" (11 x 17 SHEET)



**FARMHOUSE ELEVATION**

SCALE: 1/4" = 1'-0" (24 x 36 SHEET)  
 SCALE: 1/8" = 1'-0" (11 x 17 SHEET)



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2484 SW GLACIER PLACE  
 REDMOND, OR 97756  
 PH: 541-923-6607 F: 541-548-0761

**HAYDEN HOMES**

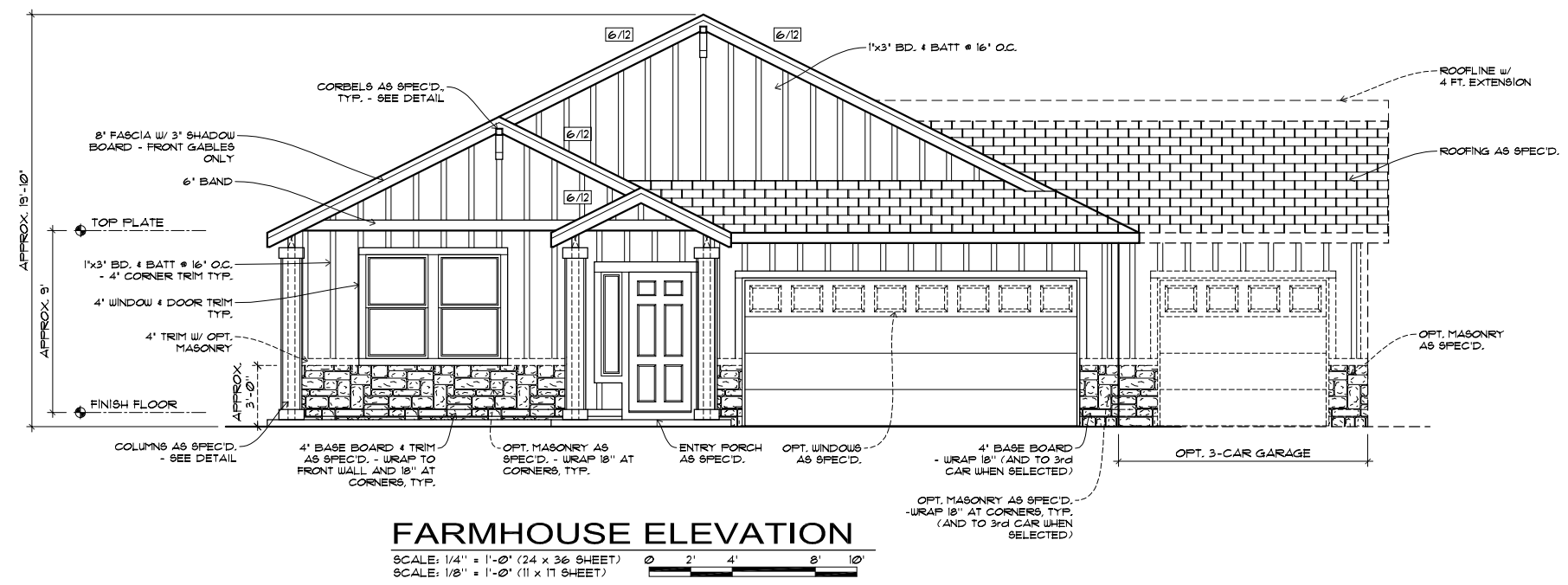
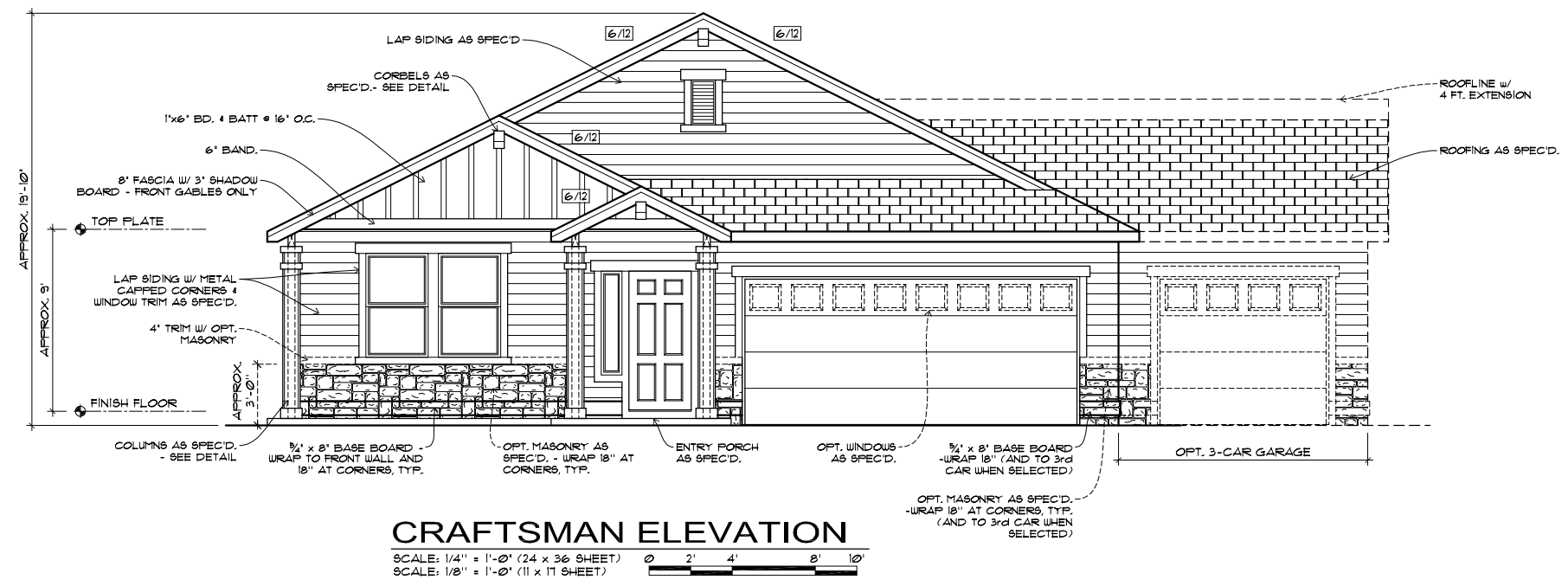
**THE ORCHARD**  
**1800 SQ. FT.**

REVISIONS

PARAMOUNT

ELEVATIONS

A1





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2464 SW GLACIER PLACE  
 REDMOND, OR 97756  
 PH: 541-923-6607 F: 541-548-0761

**HAYDEN HOMES**

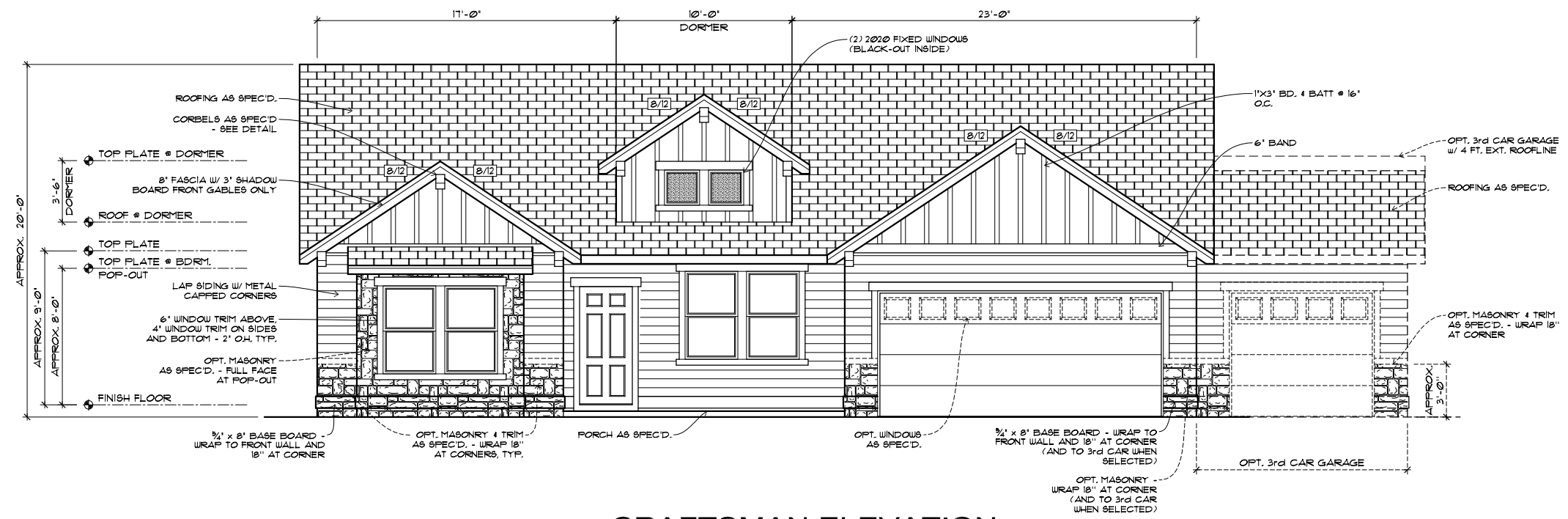
**THE SNOWBRUSH**  
 2046 SQ. FT.

REVISIONS

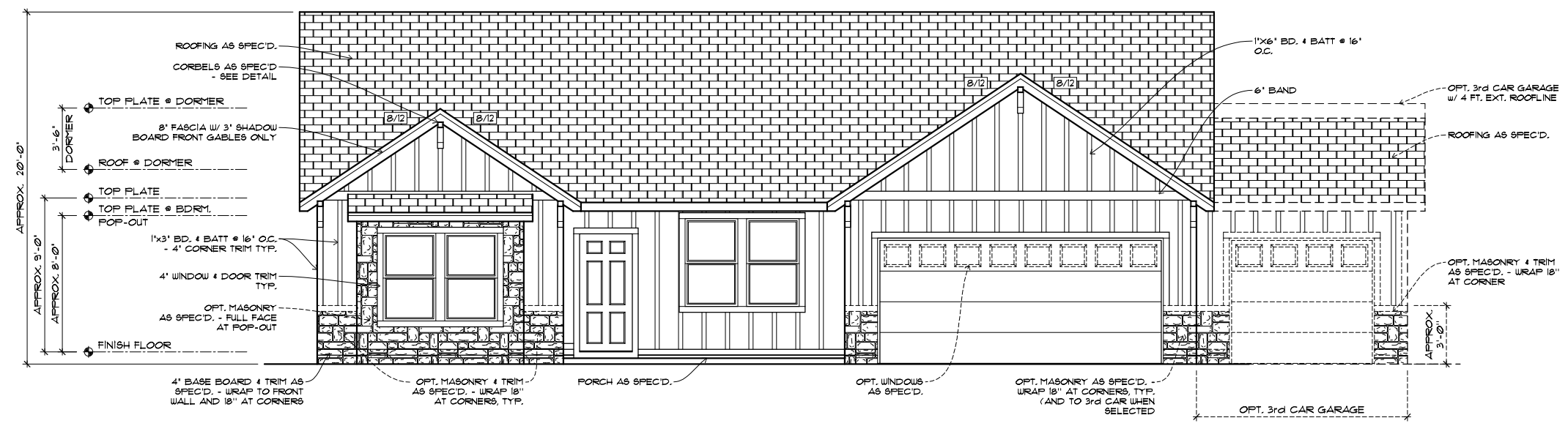
PARAMOUNT

ELEVATIONS

A1



**CRAFTSMAN ELEVATION**  
 SCALE: 1/4" = 1'-0" (24 x 36 SHEET)  
 SCALE: 1/8" = 1'-0" (11 x 17 SHEET)



**FARMHOUSE ELEVATION**  
 SCALE: 1/4" = 1'-0" (24 x 36 SHEET)  
 SCALE: 1/8" = 1'-0" (11 x 17 SHEET)

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**HAYDEN HOMES**

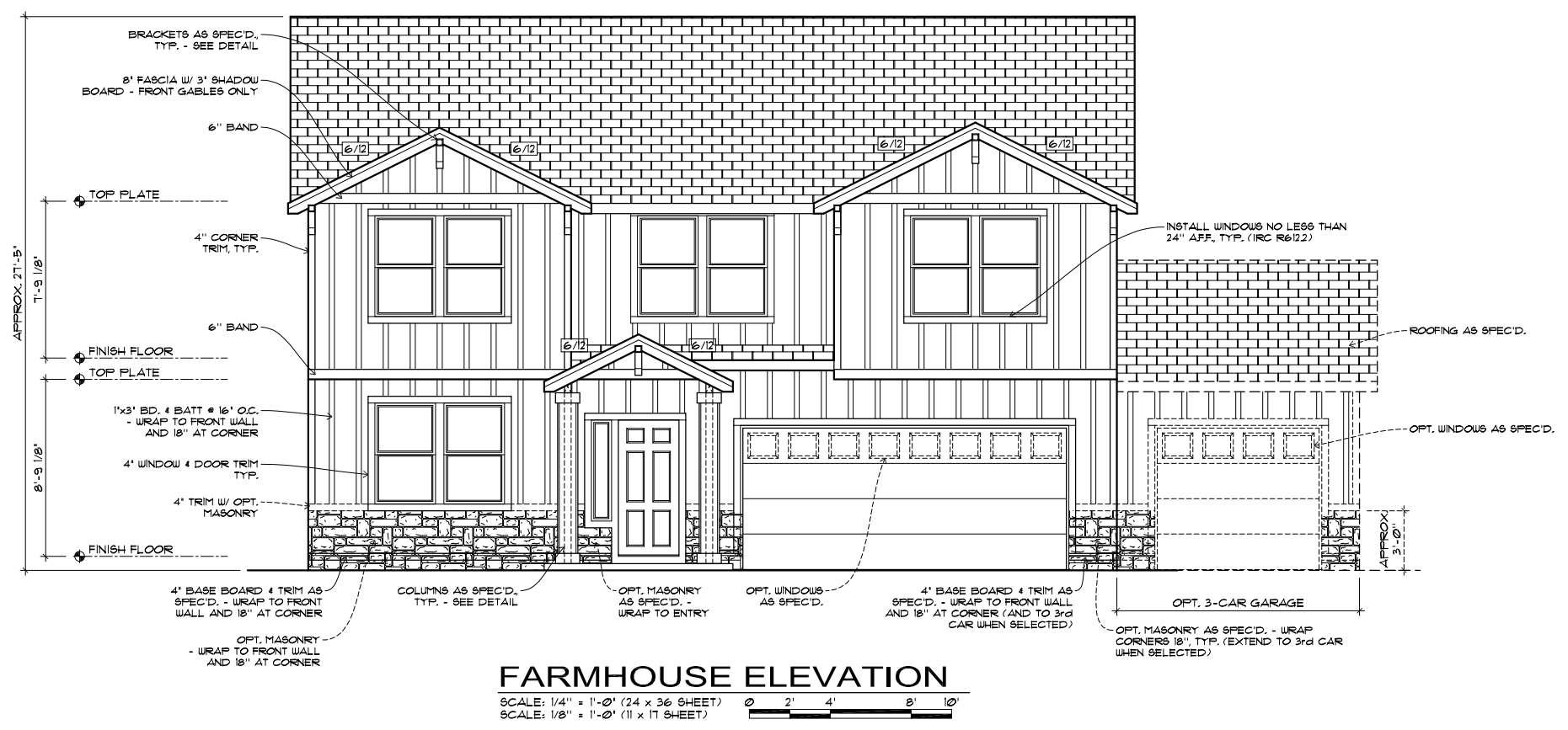
**THE UMPQUA**  
**2578 SQ. FT.**

REVISIONS

PARAMOUNT

ELEVATIONS

A1



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2484 SW GLACIER PLACE  
 REDMOND, OR 97756  
 PHONE 541-923-6607 FAX 541-548-0761

**HAYDEN HOMES**

**THE VALE**

**2968 SQ. FT.**

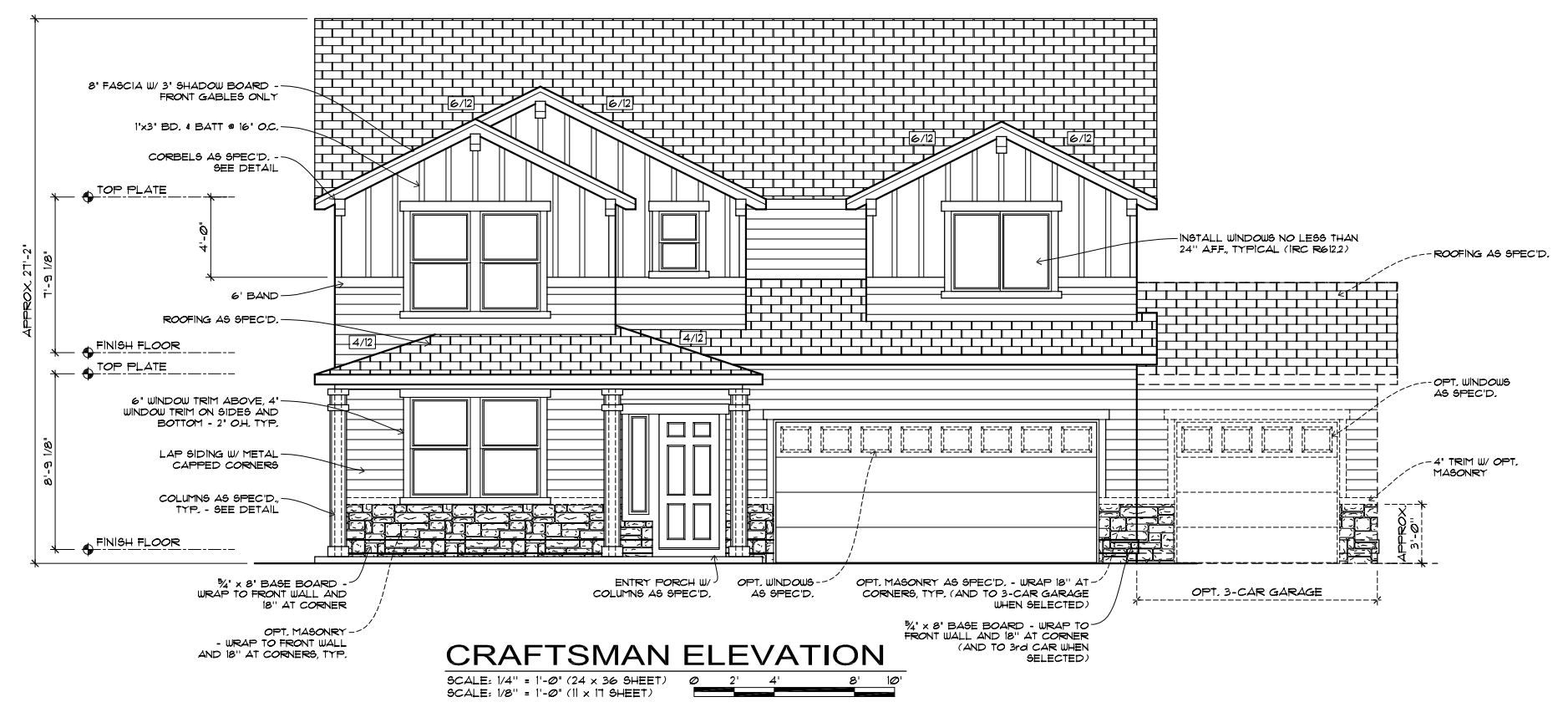
REVISIONS

PARAMOUNT

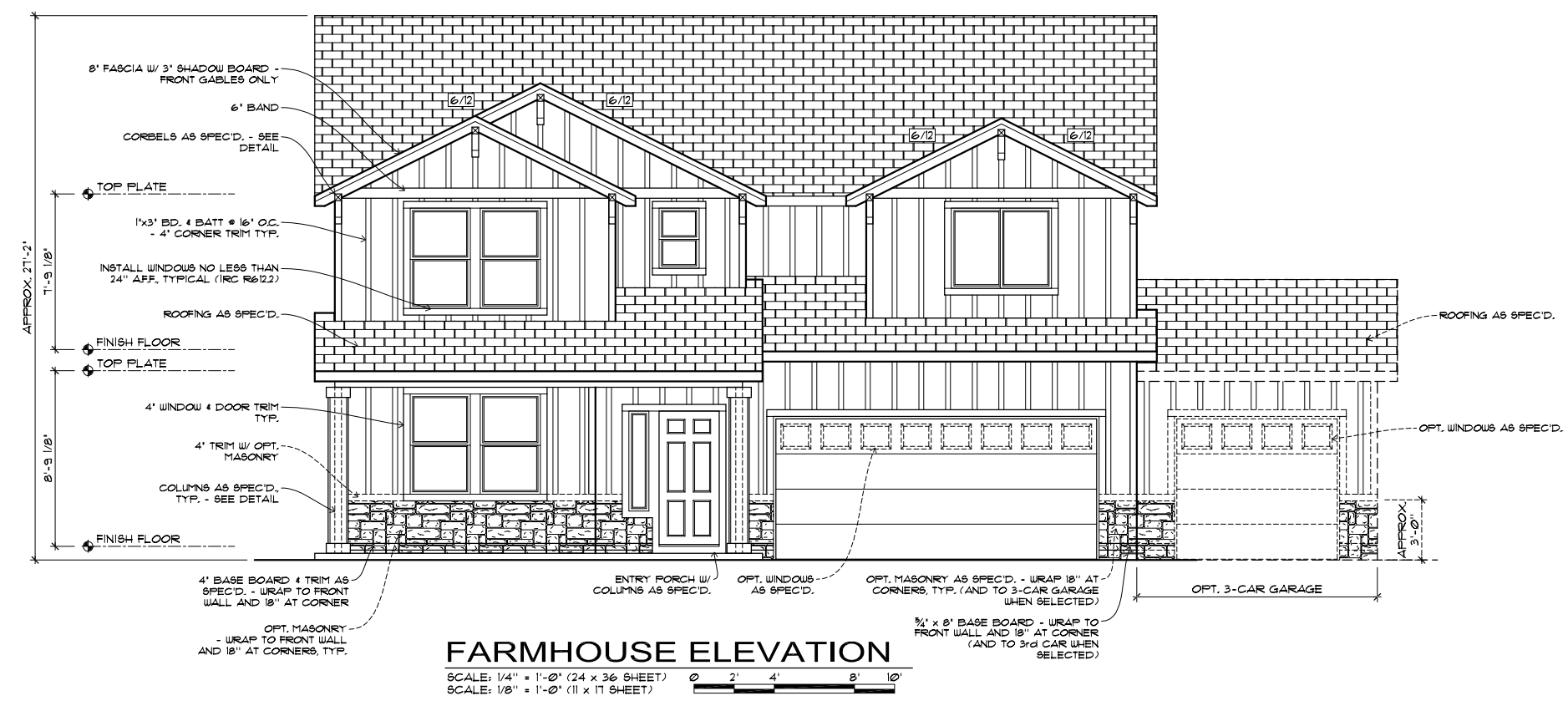
ELEVATIONS

SEE CS

**A1**



**CRAFTSMAN ELEVATION**  
 SCALE: 1/4" = 1'-0" (24 x 36 SHEET)  
 SCALE: 1/8" = 1'-0" (11 x 11 SHEET)



**FARMHOUSE ELEVATION**  
 SCALE: 1/4" = 1'-0" (24 x 36 SHEET)  
 SCALE: 1/8" = 1'-0" (11 x 11 SHEET)

# Scheme 1-21



- |                         |                                  |
|-------------------------|----------------------------------|
| 1 BODY                  | SW 7636 Origami White            |
| 2 ACCENT                | SW 7035 Aesthetic White          |
| 3 TRIM                  | SW 7069 Iron Ore                 |
| 4 FRONT DOOR SIGNATURE* | SW 7035 Aesthetic White          |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                 |
| BORAL CULTURED STONE    | BLACK MOUNTAIN ALPINE LEDGESTONE |
| ELDORADO STONE          | BANFF SPRINGS CLIFFSTONE         |

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Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020



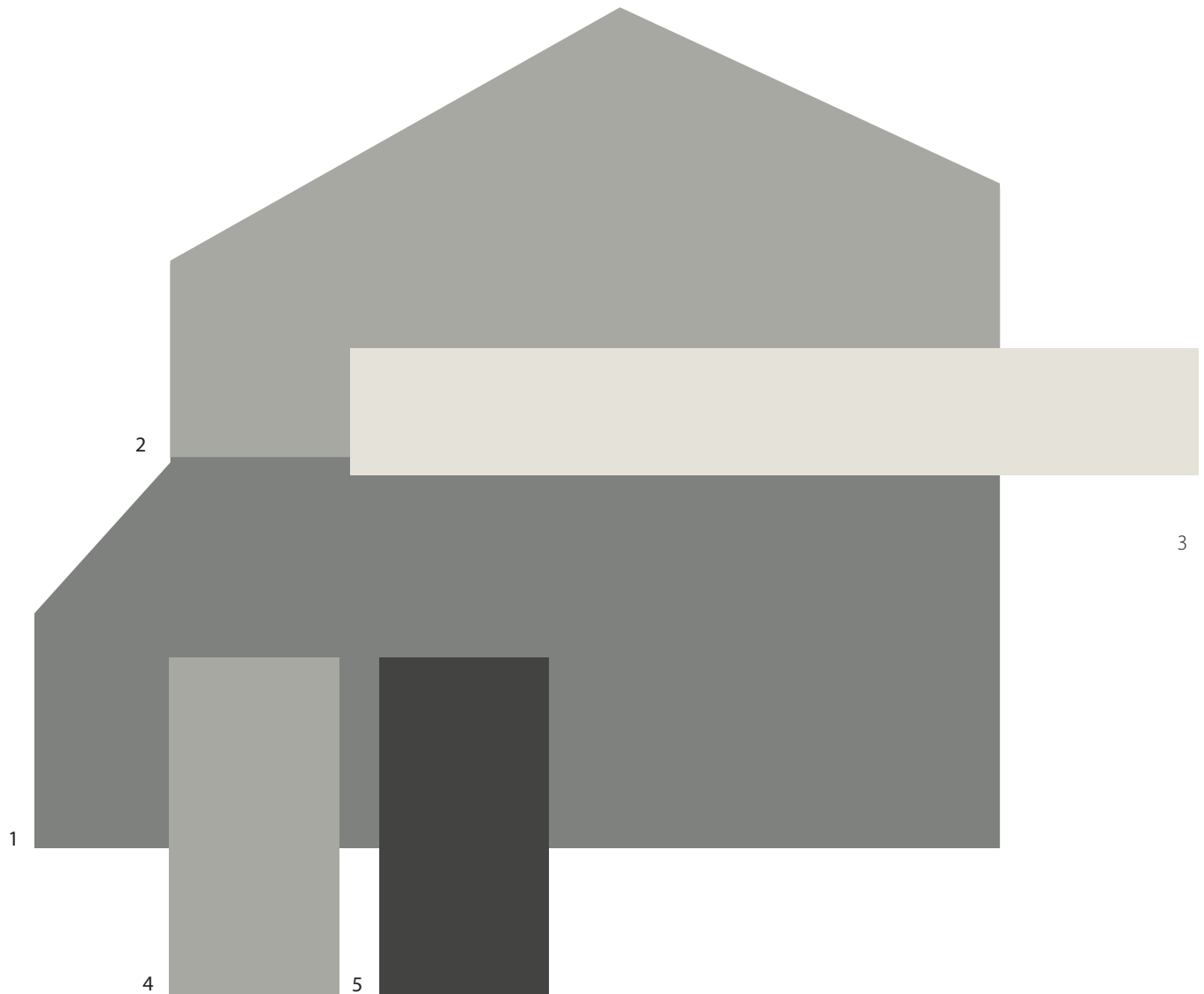


- |                         |                                  |
|-------------------------|----------------------------------|
| 1 BODY                  | SW 7672 Knitting Needles         |
| 2 ACCENT                | SW 7668 March Wind               |
| 3 TRIM                  | SW 7069 Iron Ore                 |
| 4 FRONT DOOR SIGNATURE* | SW 7668 March Wind               |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                 |
| BORAL CULTURED STONE    | BLACK MOUNTAIN ALPINE LEDGESTONE |
| ELDORADO STONE          | BANFF SPRINGS CLIFFSTONE         |

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- |   |                       |                               |
|---|-----------------------|-------------------------------|
| 1 | BODY                  | SW 7067 Cityscape             |
| 2 | ACCENT                | SW 7066 Gray Matters          |
| 3 | TRIM                  | SW 7636 Origami White         |
| 4 | FRONT DOOR SIGNATURE* | SW 7066 Gray Matters          |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore              |
|   | BORAL CULTURED STONE  | ECHO RIDGE COUNTRY LEDGESTONE |
|   | ELDORADO STONE        | NANTUCKET STACKED STONE       |

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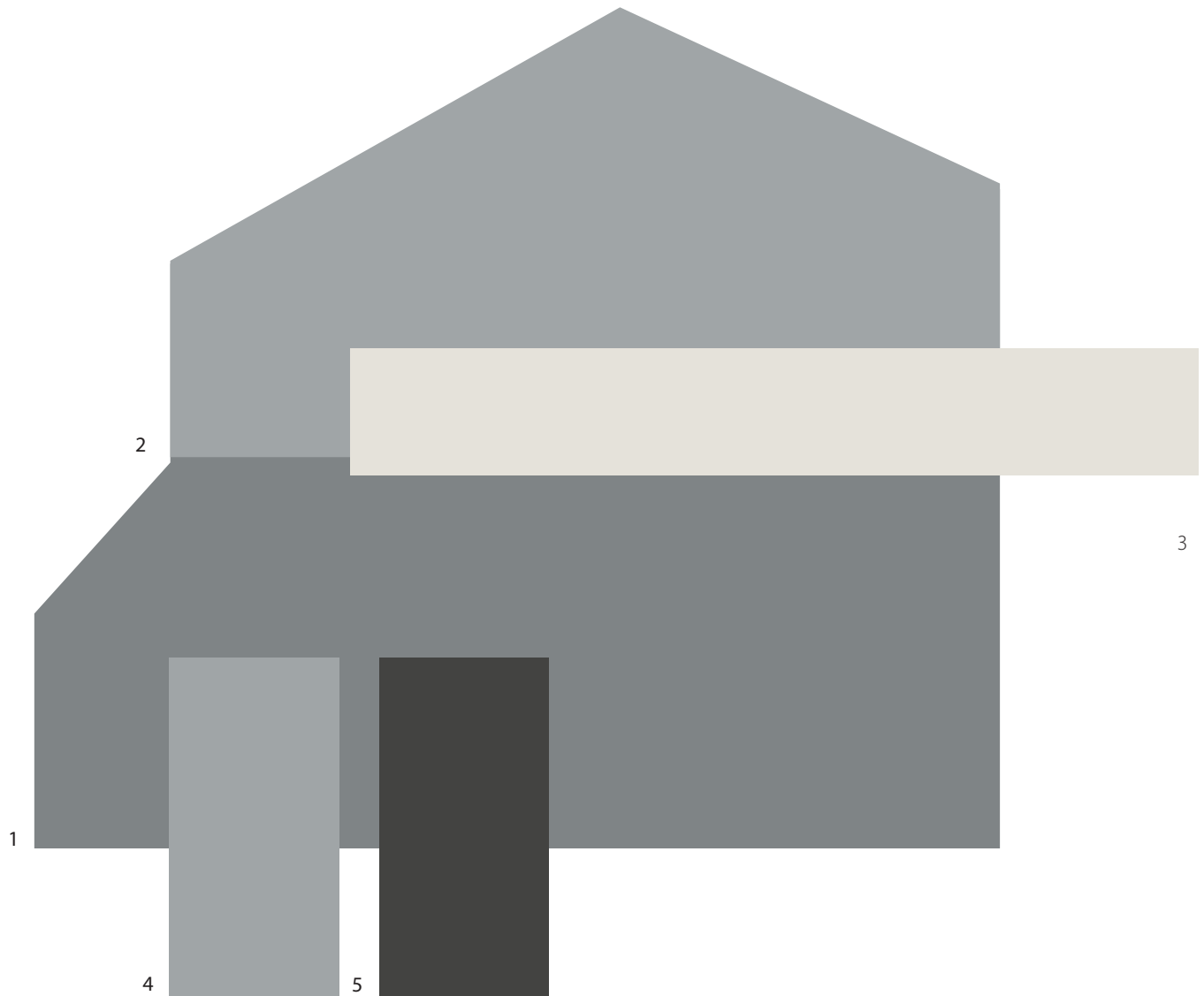




- |   |                       |                                  |
|---|-----------------------|----------------------------------|
| 1 | BODY                  | SW 7067 Cityscape                |
| 2 | ACCENT                | SW 7066 Gray Matters             |
| 3 | TRIM                  | SW 7069 Iron Ore                 |
| 4 | FRONT DOOR SIGNATURE* | SW 7066 Gray Matters             |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                 |
|   | BORAL CULTURED STONE  | BLACK MOUNTAIN ALPINE LEDGESTONE |
|   | ELDORADO STONE        | BANFF SPRINGS CLIFFSTONE         |

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- |   |                       |                               |
|---|-----------------------|-------------------------------|
| 1 | BODY                  | SW 7074 Software              |
| 2 | ACCENT                | SW 7073 Network Gray          |
| 3 | TRIM                  | SW 7636 Origami White         |
| 4 | FRONT DOOR SIGNATURE* | SW 7073 Network Gray          |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore              |
|   | BORAL CULTURED STONE  | ECHO RIDGE COUNTRY LEDGESTONE |
|   | ELDORADO STONE        | NANTUCKET STACKED STONE       |

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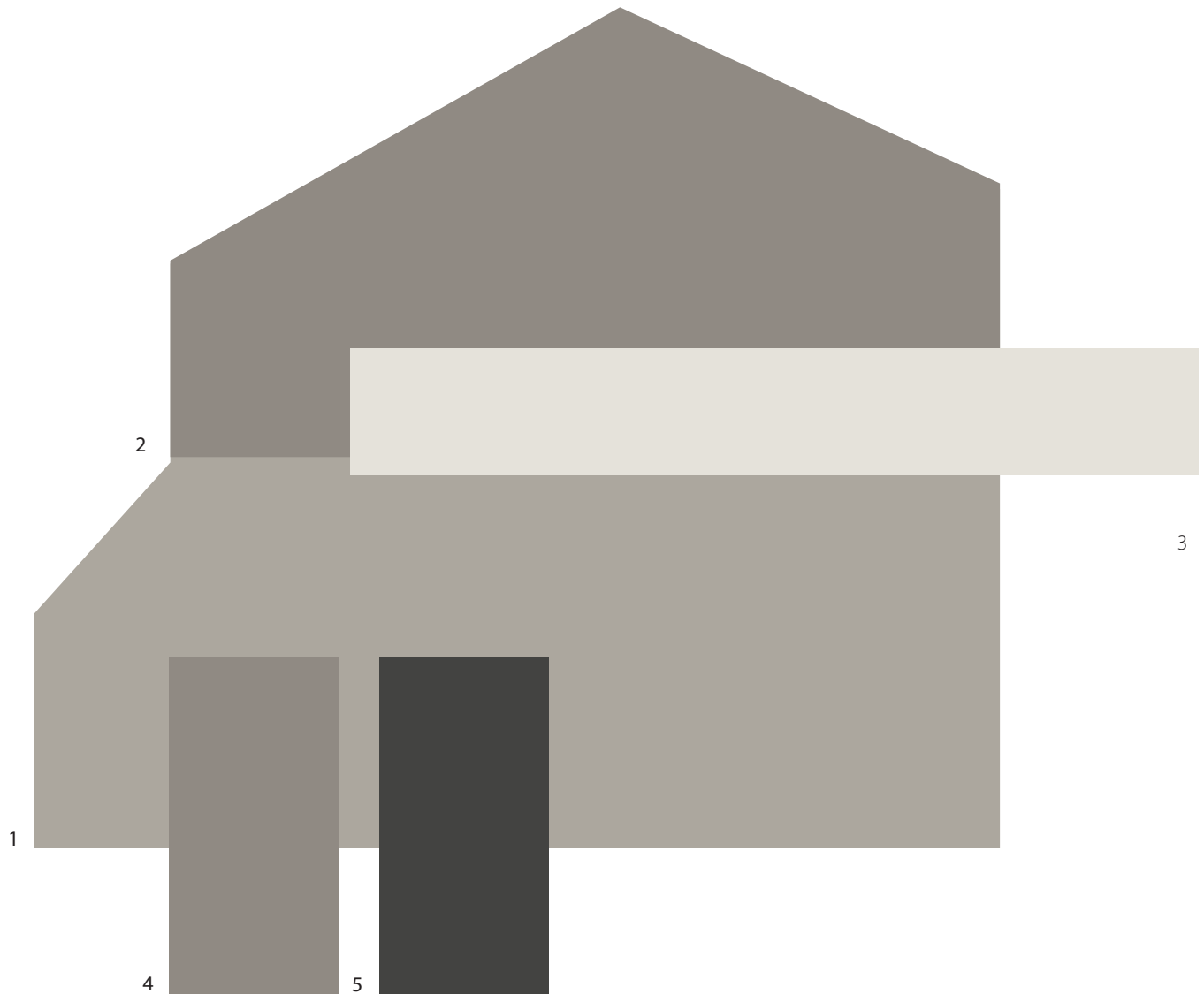


- |                         |                                  |
|-------------------------|----------------------------------|
| 1 BODY                  | SW 7074 Software                 |
| 2 ACCENT                | SW 7073 Network Gray             |
| 3 TRIM                  | SW 7069 Iron Ore                 |
| 4 FRONT DOOR SIGNATURE* | SW 7073 Network Gray             |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                 |
| BORAL CULTURED STONE    | BLACK MOUNTAIN ALPINE LEDGESTONE |
| ELDORADO STONE          | BANFF SPRINGS CLIFFSTONE         |

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Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020





- |   |                       |                               |
|---|-----------------------|-------------------------------|
| 1 | BODY                  | SW 7017 Dorian Gray           |
| 2 | ACCENT                | SW 7018 Dovetail              |
| 3 | TRIM                  | SW 7636 Origami White         |
| 4 | FRONT DOOR SIGNATURE* | SW 7018 Dovetail              |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore              |
|   | BORAL CULTURED STONE  | ECHO RIDGE COUNTRY LEDGESTONE |
|   | ELDORADO STONE        | NANTUCKET STACKED STONE       |

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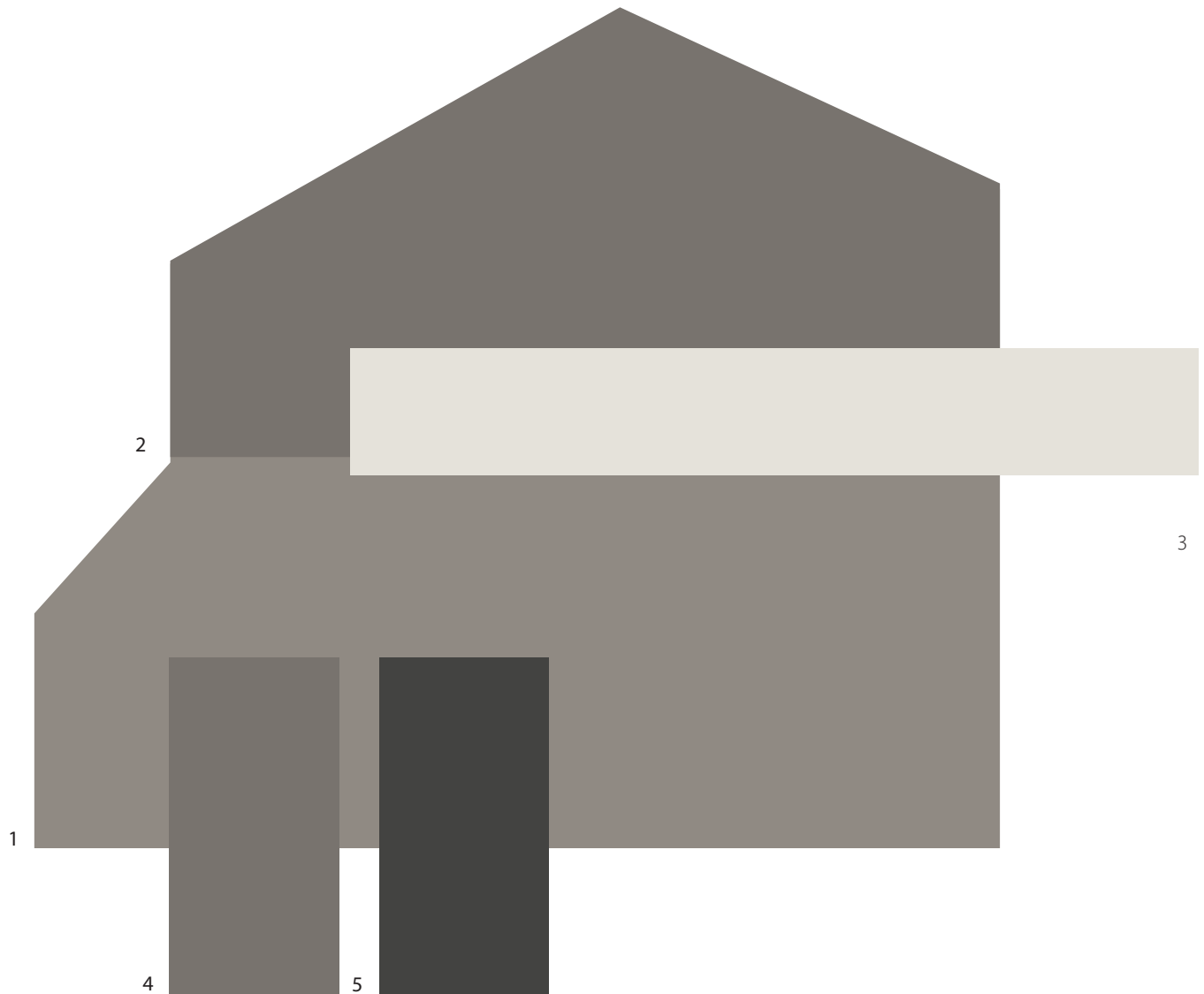
Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020



- |                         |                                  |
|-------------------------|----------------------------------|
| 1 BODY                  | SW 7017 Dorian Gray              |
| 2 ACCENT                | SW 7018 Dovetail                 |
| 3 TRIM                  | SW 7069 Iron Ore                 |
| 4 FRONT DOOR SIGNATURE* | SW 7018 Dovetail                 |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                 |
| BORAL CULTURED STONE    | BLACK MOUNTAIN ALPINE LEDGESTONE |
| ELDORADO STONE          | BANFF SPRINGS CLIFFSTONE         |

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Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020



- |                         |                                 |
|-------------------------|---------------------------------|
| 1 BODY                  | SW 7018 Dovetail                |
| 2 ACCENT                | SW 7019 Gauntlet Gray           |
| 3 TRIM                  | SW 7636 Origami White           |
| 4 FRONT DOOR SIGNATURE* | SW 7019 Gauntlet Gray           |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                |
| BORAL CULTURED STONE    | ECHO RIDGE COUNTRY LEDGESTONE   |
| ELDORADO STONE          | SILVERTON MOUNTAIN LODGE PANELS |

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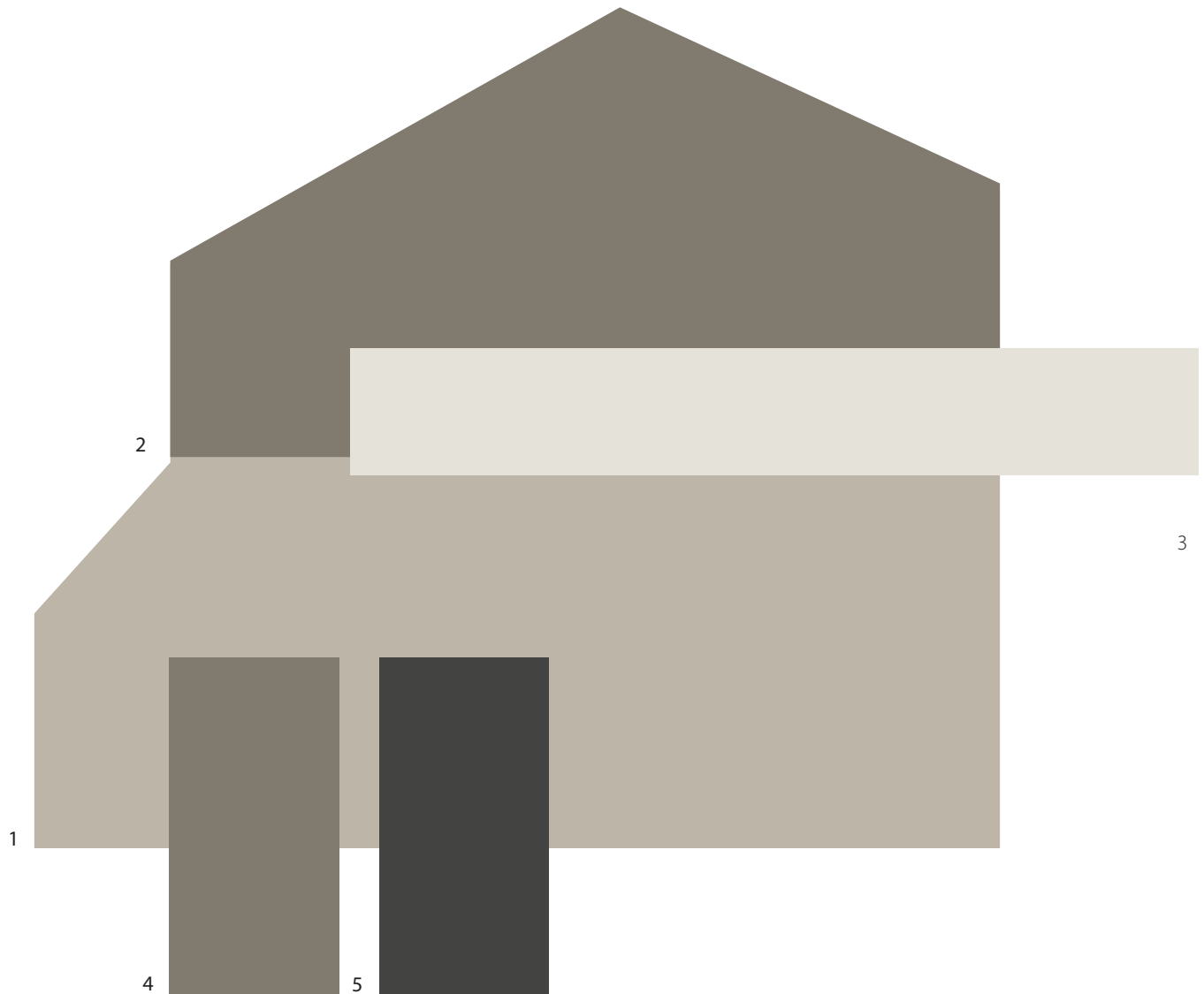
Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020



- |   |                       |                                  |
|---|-----------------------|----------------------------------|
| 1 | BODY                  | SW 7018 Dovetail                 |
| 2 | ACCENT                | SW 7019 Gauntlet Gray            |
| 3 | TRIM                  | SW 7069 Iron Ore                 |
| 4 | FRONT DOOR SIGNATURE* | SW 7019 Gauntlet Gray            |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                 |
|   | BORAL CULTURED STONE  | BLACK MOUNTAIN ALPINE LEDGESTONE |
|   | ELDORADO STONE        | CHAPEL HILL STACKED STONE        |

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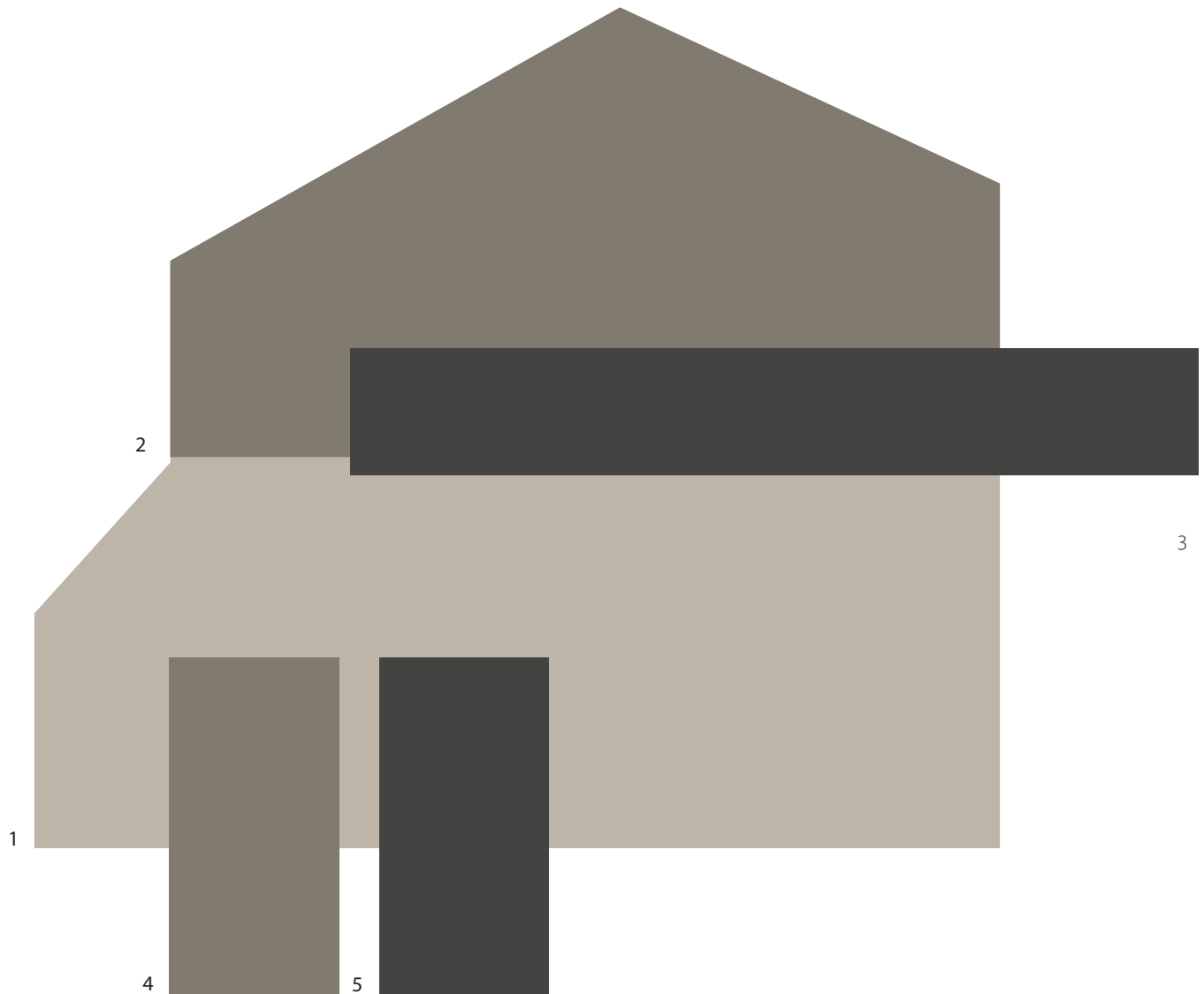


- |   |                       |                                 |
|---|-----------------------|---------------------------------|
| 1 | BODY                  | SW 7044 Amazing Gray            |
| 2 | ACCENT                | SW 7046 Anonymous               |
| 3 | TRIM                  | SW 7636 Origami White           |
| 4 | FRONT DOOR SIGNATURE* | SW 7046 Anonymous               |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                |
|   | BORAL CULTURED STONE  | PHEASANT ALPINE LEDGESTONE      |
|   | ELDORADO STONE        | SILVERTON MOUNTAIN LODGE PANELS |

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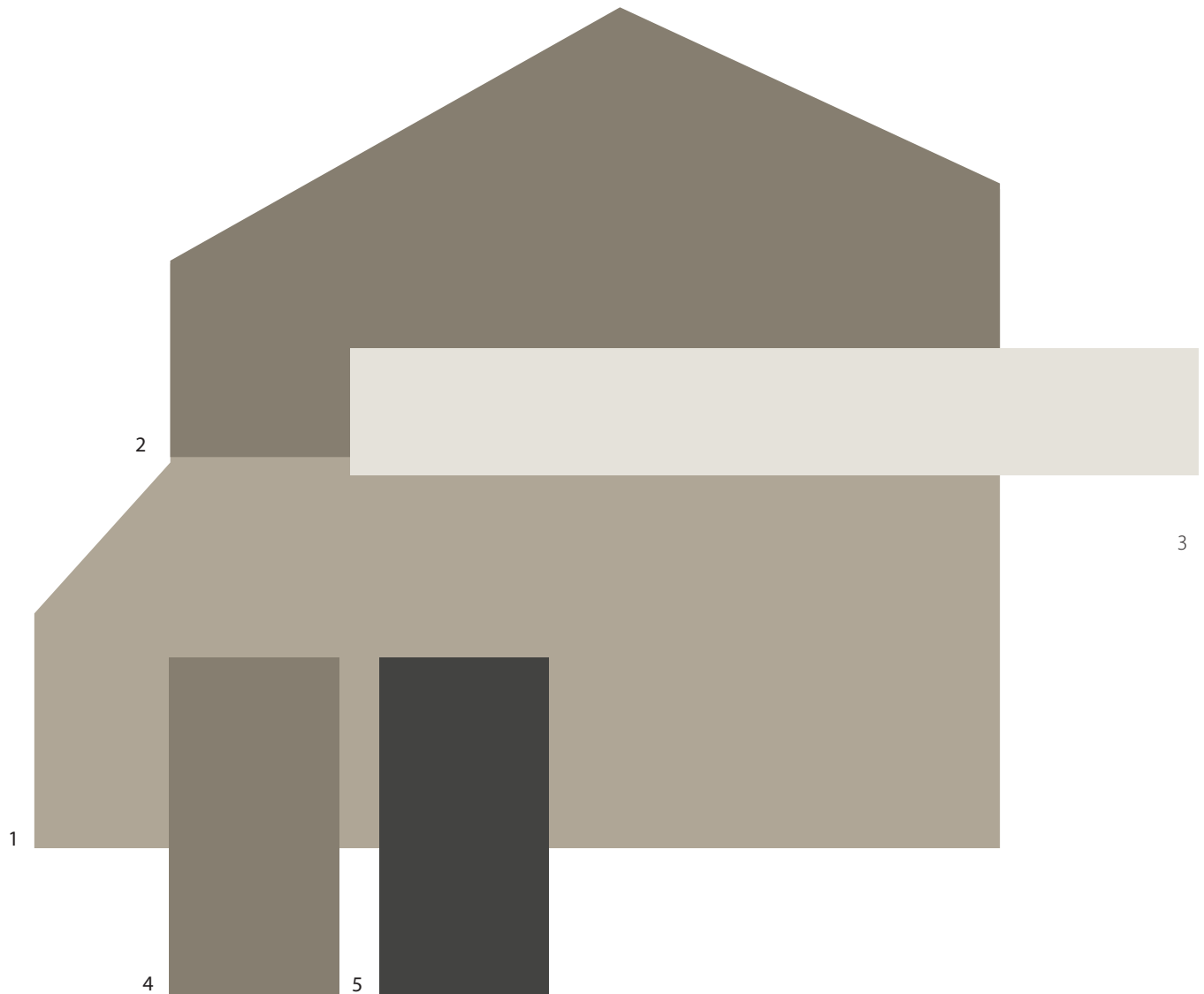




- |   |                       |                           |
|---|-----------------------|---------------------------|
| 1 | BODY                  | SW 7044 Amazing Gray      |
| 2 | ACCENT                | SW 7046 Anonymous         |
| 3 | TRIM                  | SW 7069 Iron Ore          |
| 4 | FRONT DOOR SIGNATURE* | SW 7046 Anonymous         |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore          |
|   | BORAL CULTURED STONE  | SAN FRANCISCO COBBLESTONE |
|   | ELDORADO STONE        | CHAPEL HILL STACKED STONE |

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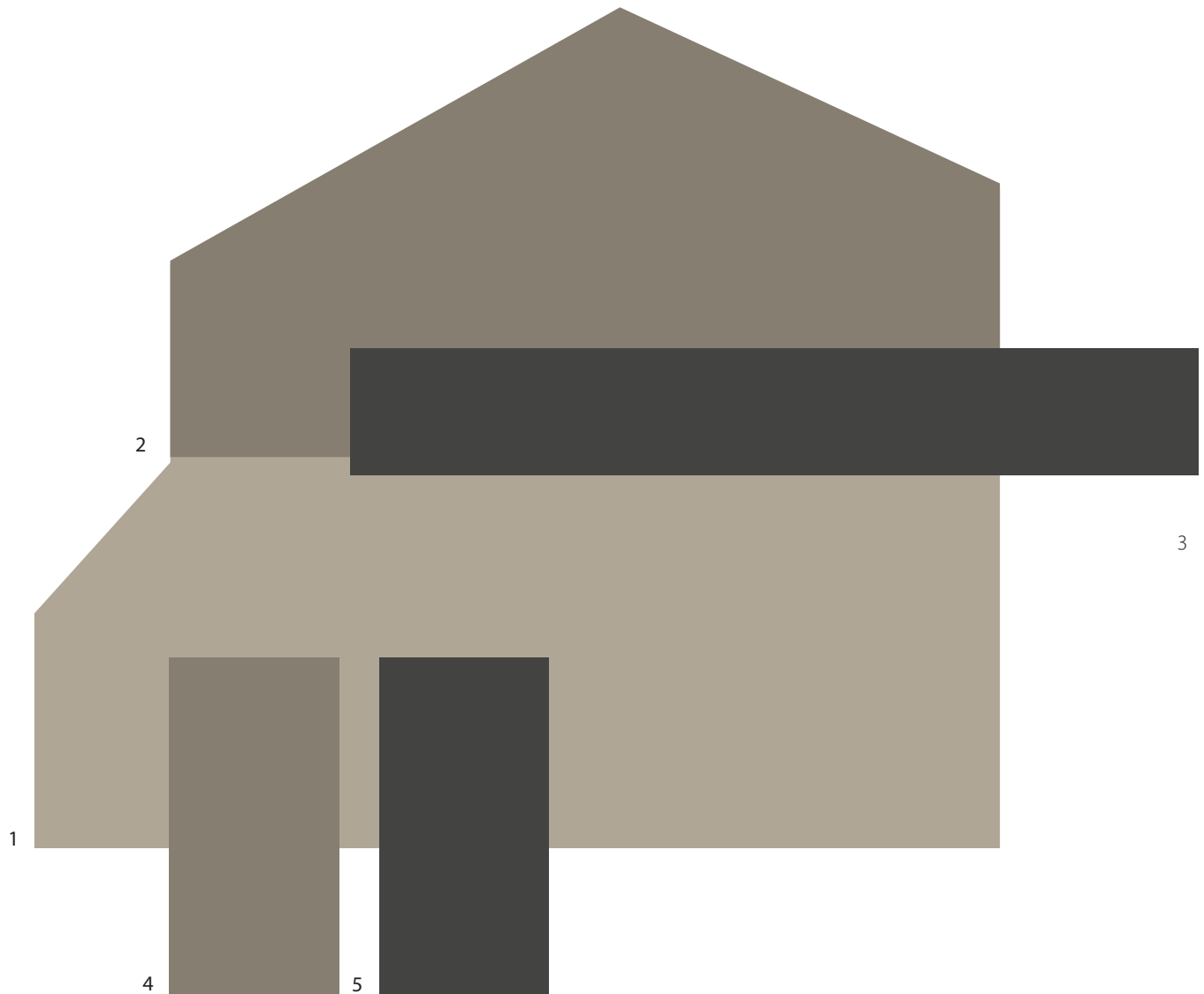
- |   |                       |                                 |
|---|-----------------------|---------------------------------|
| 1 | BODY                  | SW 7052 Gray Area               |
| 2 | ACCENT                | SW 7053 Adaptive Shade          |
| 3 | TRIM                  | SW 7636 Origami White           |
| 4 | FRONT DOOR SIGNATURE* | SW 7053 Adaptive Shade          |
| 5 | FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                |
|   | BORAL CULTURED STONE  | PHEASANT ALPINE LEDGESTONE      |
|   | ELDORADO STONE        | SILVERTON MOUNTAIN LODGE PANELS |

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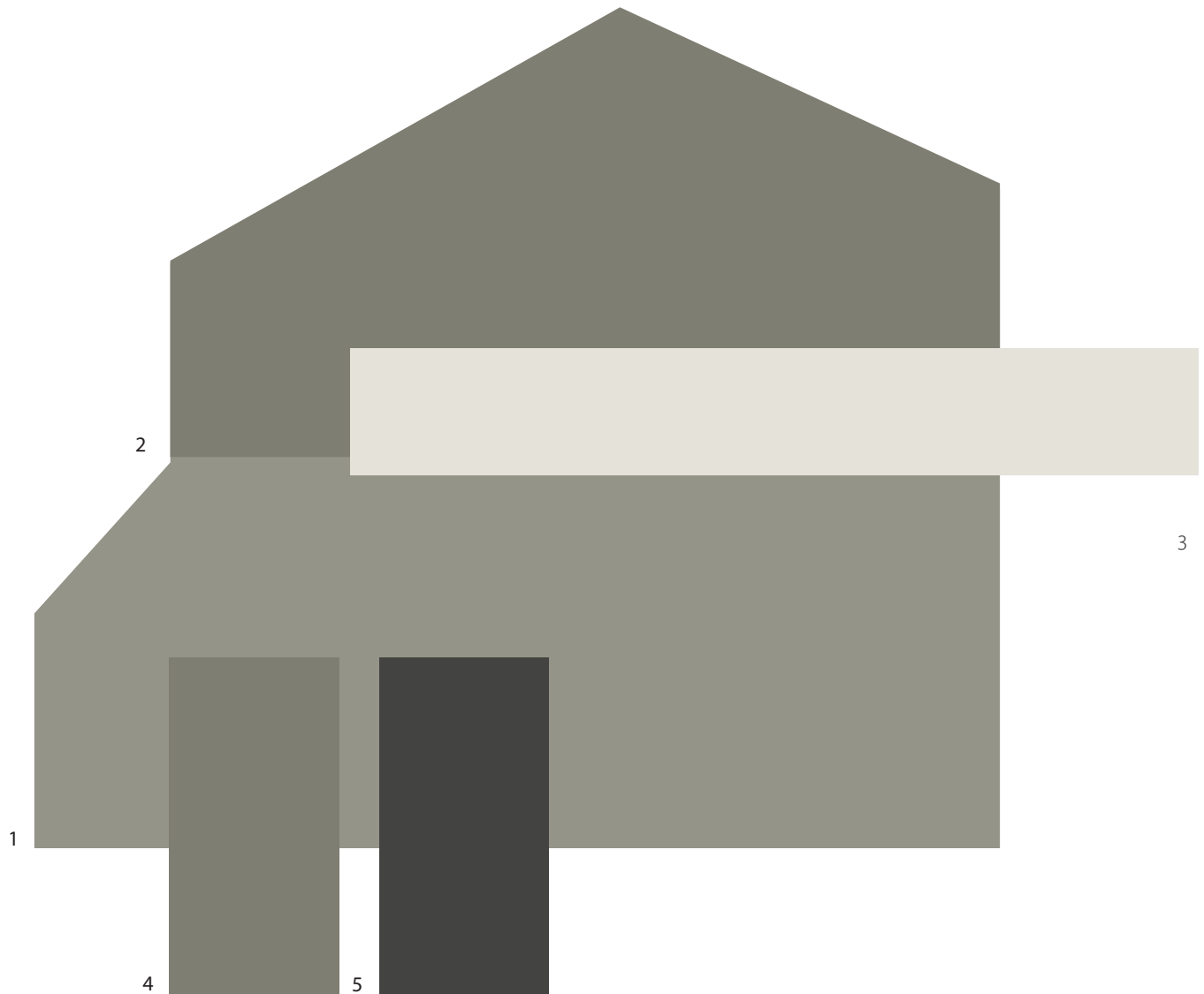






- |   |                       |                           |
|---|-----------------------|---------------------------|
| 1 | BODY                  | SW 7052 Gray Area         |
| 2 | ACCENT                | SW 7053 Adaptive Shade SW |
| 3 | TRIM                  | 7069 Iron Ore             |
| 4 | FRONT DOOR SIGNATURE* | SW 7053 Adaptive Shade SW |
| 5 | FRONT DOOR PREMIUM*   | 7069 Iron Ore             |
|   | BORAL CULTURED STONE  | SAN FRANCISCO COBBLESTONE |
|   | ELDORADO STONE        | CHAPEL HILL STACKED STONE |

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- |                         |                                 |
|-------------------------|---------------------------------|
| 1 BODY                  | SW 9131 Cornwall Slate          |
| 2 ACCENT                | SW 6200 Link Gray               |
| 3 TRIM                  | SW 7636 Origami White           |
| 4 FRONT DOOR SIGNATURE* | SW 6200 Link Gray               |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                |
| BORAL CULTURED STONE    | PHEASANT ALPINE LEDGESTONE      |
| ELDORADO STONE          | SILVERTON MOUNTAIN LODGE PANELS |

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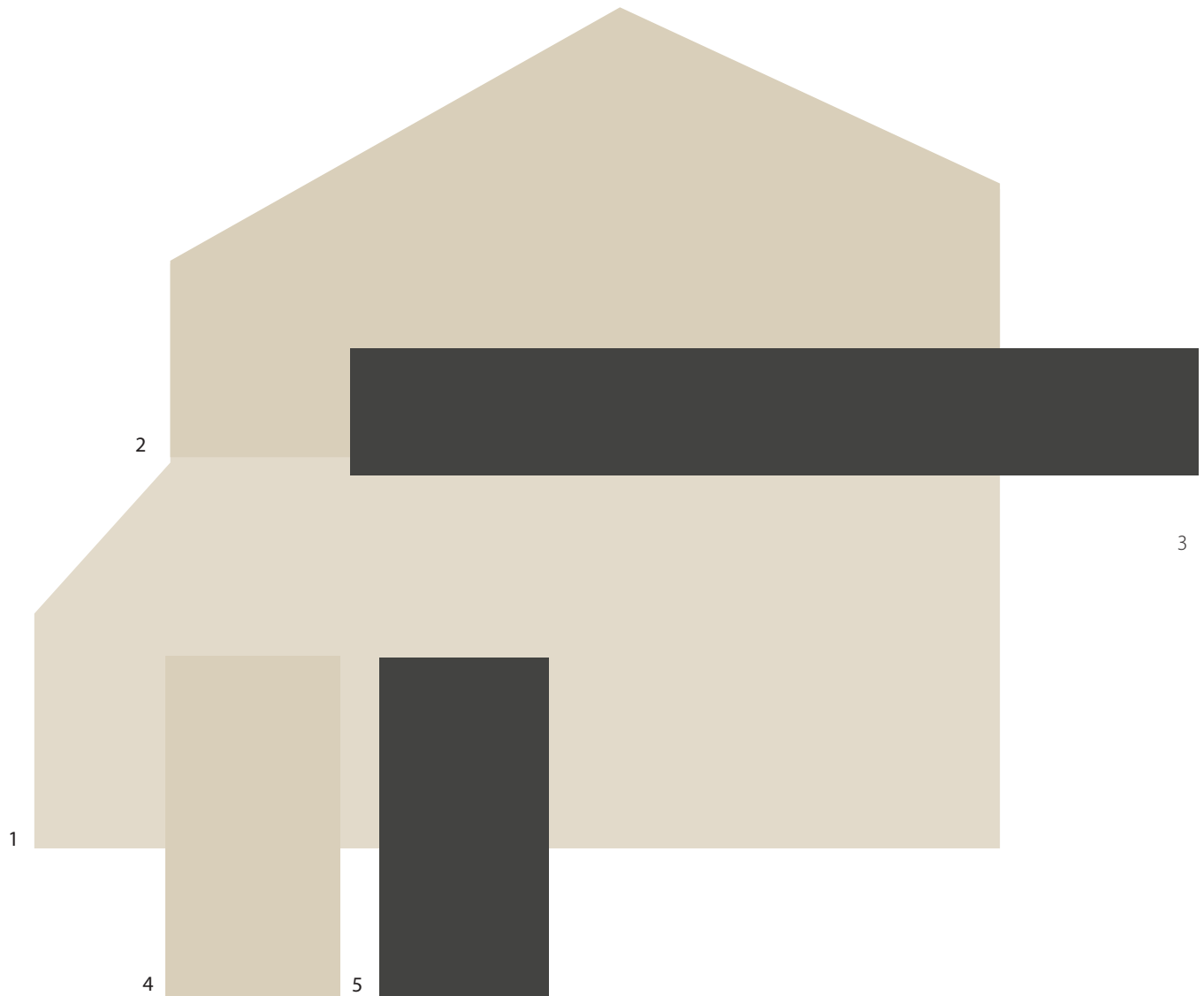


- |                         |                           |
|-------------------------|---------------------------|
| 1 BODY                  | SW 9131 Cornwall Slate    |
| 2 ACCENT                | SW 6200 Link Gray         |
| 3 TRIM                  | SW 7069 Iron Ore          |
| 4 FRONT DOOR SIGNATURE* | SW 6200 Link Gray         |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore          |
| BORAL CULTURED STONE    | SAN FRANCISCO COBBLESTONE |
| ELDORADO STONE          | CHAPEL HILL STACKED STONE |

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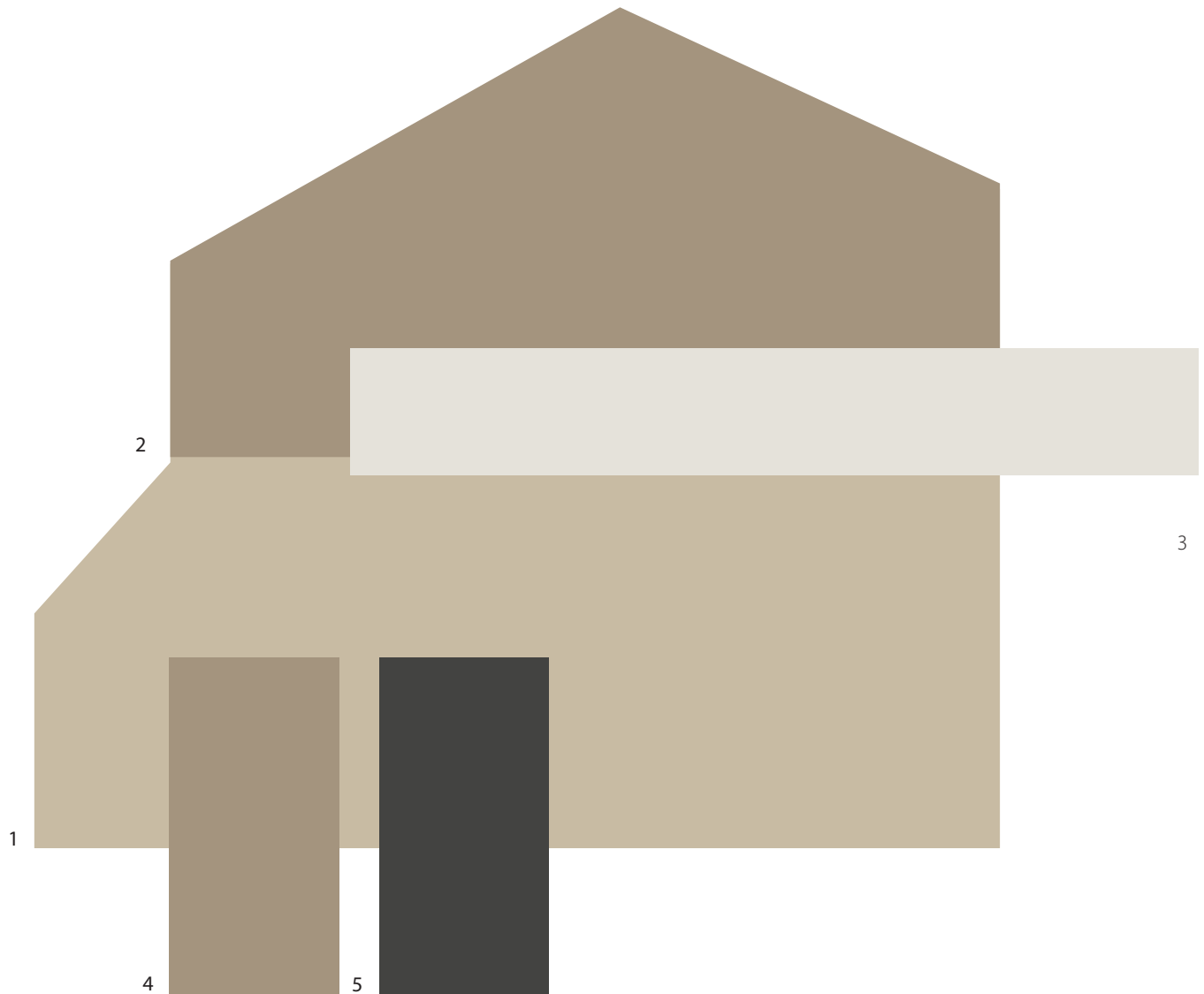




- |                         |                                 |
|-------------------------|---------------------------------|
| 1 BODY                  | SW 7568 Neutral Ground          |
| 2 ACCENT                | SW 6148 Wool Skein              |
| 3 TRIM                  | SW 7069 Iron Ore                |
| 4 FRONT DOOR SIGNATURE* | SW 6148 Wool Skein              |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                |
| BORAL CULTURED STONE    | SAN FRANCISCO COBBLESTONE       |
| ELDORADO STONE          | SILVERTON MOUNTAIN LODGE PANELS |

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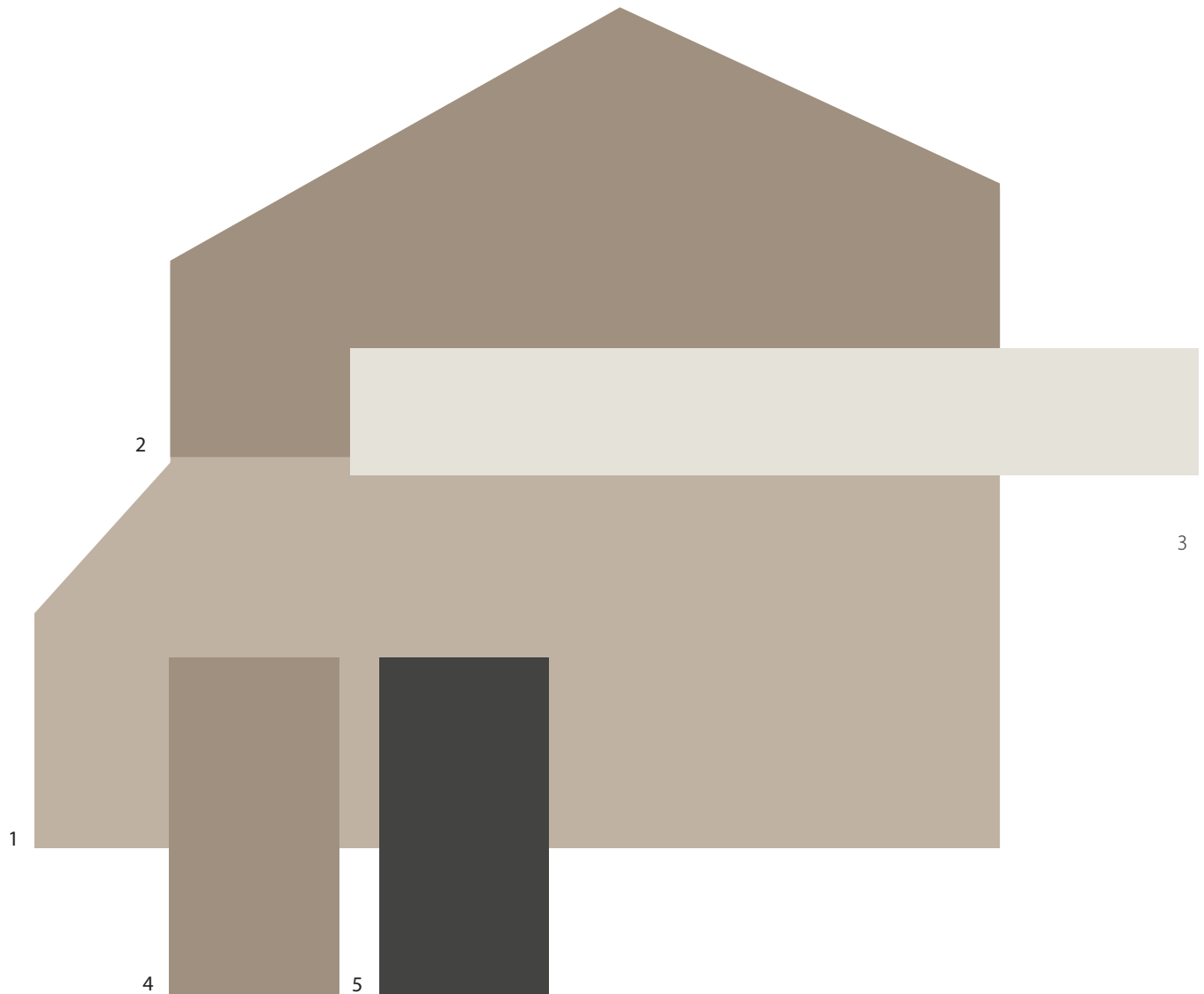
Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020



- |                         |                                 |
|-------------------------|---------------------------------|
| 1 BODY                  | SW 6149 Relaxed Khaki           |
| 2 ACCENT                | SW 9117 Urban Jungle            |
| 3 TRIM                  | SW 7636 Origami White           |
| 4 FRONT DOOR SIGNATURE* | SW 9117 Urban Jungle            |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore                |
| BORAL CULTURED STONE    | PHEASANT ALPINE LEDGESTONE      |
| ELDORADO STONE          | SILVERTON MOUNTAIN LODGE PANELS |

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- |                         |                            |
|-------------------------|----------------------------|
| 1 BODY                  | SW 7037 Balanced Beige     |
| 2 ACCENT                | SW 9174 Moth Wing          |
| 3 TRIM                  | SW 7636 Origami White      |
| 4 FRONT DOOR SIGNATURE* | SW 9174 Moth Wing          |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore           |
| BORAL CULTURED STONE    | PHEASANT ALPINE LEDGESTONE |
| ELDORADO STONE          | NANTUCKET STACKED STONE    |

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Color samples shown are approximate actual paint colors may vary from sample. 20-01-2287 12/1/2020



- |                         |                           |
|-------------------------|---------------------------|
| 1 BODY                  | SW 7037 Balanced Beige    |
| 2 ACCENT                | SW 9174 Moth Wing         |
| 3 TRIM                  | SW 7069 Iron Ore          |
| 4 FRONT DOOR SIGNATURE* | SW 9174 Moth Wing         |
| 5 FRONT DOOR PREMIUM*   | SW 7069 Iron Ore          |
| BORAL CULTURED STONE    | SAN FRANCISCO COBBLESTONE |
| ELDORADO STONE          | CHAPEL HILL STACKED STONE |

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**SHERWIN  
WILLIAMS.**

102.11

**A-100<sup>®</sup>**

**Exterior Latex Satin**

A82W00107 White  
A82W00151 Extra White  
A82W00153 Deep Base  
A82T00154 Ultradeep Base

**Exterior Paint  
Walls, Trim and Accent**

| As of 11/07/2017, Complies with: |     |                                |     |
|----------------------------------|-----|--------------------------------|-----|
| OTC                              | Yes | LEED <sup>®</sup> 09 NC CI     | N/A |
| OTC Phase II                     | Yes | LEED <sup>®</sup> 09 CS        | N/A |
| SCAQM                            | Yes | LEED <sup>®</sup> v4 Emissions | N/A |
| CARB                             | Yes | LEED <sup>®</sup> v4 VOC       | Yes |
| CARB SCM2007                     | Yes |                                |     |
| Canada                           | Yes | MPI                            | Yes |

**CHARACTERISTICS**

**A-100 Exterior Latex** is a quality exterior finish. This product is recommended for use on aluminum, vinyl, and wood siding, clapboard, shakes, shingles, plywood, masonry, and metal down to a surface and air temperature of 35°F.

**Color:** Most colors  
To optimize hide and color development, always use the recommended P-Shadow primer

**Coverage:** 350 - 400 sq ft/gal  
@ 4 mils wet; 1.4 mils dry

**Drying Time, @ 50% RH:**  
@ 35-45°F @ 45°F +

Touch: 2 hour 2 hours

Recoat: 24-48 hours 4 hours

Drying and recoat times are temperature, humidity, and film thickness dependent

**Finish:** 10-20 units @ 60°

**Tinting with CCE:**

| Base           | oz/gal | Strength  |
|----------------|--------|-----------|
| Extra White    | 0-6    | SherColor |
| Deep Base      | 4-12   | SherColor |
| Ultradeep Base | 10-12  | SherColor |

Extra White **A82W00151**  
(may vary by base)

**VOC (less exempt solvents):**  
<50 g/L; <0.42 lb/gal

As per 40 CFR 59.406 and SOR/2009-264, s.12

**Volume Solids:** 36 ± 2%

**Weight Solids:** 46 ± 2%

**Weight per Gallon:** 9.88 lb

**Flash Point:** N/A

**Vehicle Type:** 100% Acrylic

**WVP Perms (US)** 24.58  
grains/(hr ft<sup>2</sup> in Hg)

**Mildew Resistant**

This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

**SPECIFICATIONS**

Standard latex primers cannot be used below 50°F. See specific primer label for that product's application conditions.

**Aluminum & Aluminum Siding<sup>1</sup>**

2 cts. A-100 Exterior Latex

**Concrete Block, CMU, Split face Block**

1 ct. Loxon Block Surfacers

2 cts. A-100 Exterior Latex

**Brick**

1 ct. Loxon Conditioner<sup>2</sup>

2 cts. A-100 Exterior Latex

**Cement Composition Siding/Panels**

1 ct. Loxon Concrete & Masonry Primer<sup>2</sup>

or Loxon Conditioner<sup>2</sup>

2 cts. A-100 Exterior Latex

**Galvanized Steel<sup>1</sup>**

2 cts. A-100 Exterior Latex

**Stucco, Cement, Concrete**

1 ct. Loxon Concrete & Masonry Primer<sup>2</sup>

2 cts. A-100 Exterior Latex

**Plywood**

1 ct. Exterior Latex Wood Primer

2 cts. A-100 Exterior Latex

**Vinyl Siding\***

2 cts. A-100 Exterior Latex

**Wood**

1 ct. Exterior Oil-Based Wood Primer

2 cts. A-100 Exterior Latex

<sup>1</sup> On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher.

<sup>2</sup> Not for use at temperatures under 50°F. See specific primer label for that product's application conditions.

Other primers may be appropriate.

When repainting involves a drastic color change, a coat of primer will improve the hiding performance of the topcoat color.

**SURFACE PREPARATION**

**WARNING!** Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at **1-800-424-LEAD** (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Scrape and sand peeled or checked paint to a sound surface. Sand glossy surfaces dull. Seal stains from water, smoke, ink, pencil, grease, etc. with the appropriate primer/sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

**Aluminum and Galvanized Steel**

Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method.

**Caulking**

Gaps between windows, doors, trim, and other through-wall openings can be filled with the appropriate caulk after priming the surface.

**Cement Composition Siding/Panels**

Remove all dirt, dust, grease, oil, loose particles, laitance, foreign material, and peeling or defective coatings. Allow the surface to dry thoroughly. If the surface is new, test it for pH, if the pH is higher than 9, prime with Loxon Concrete & Masonry Primer.



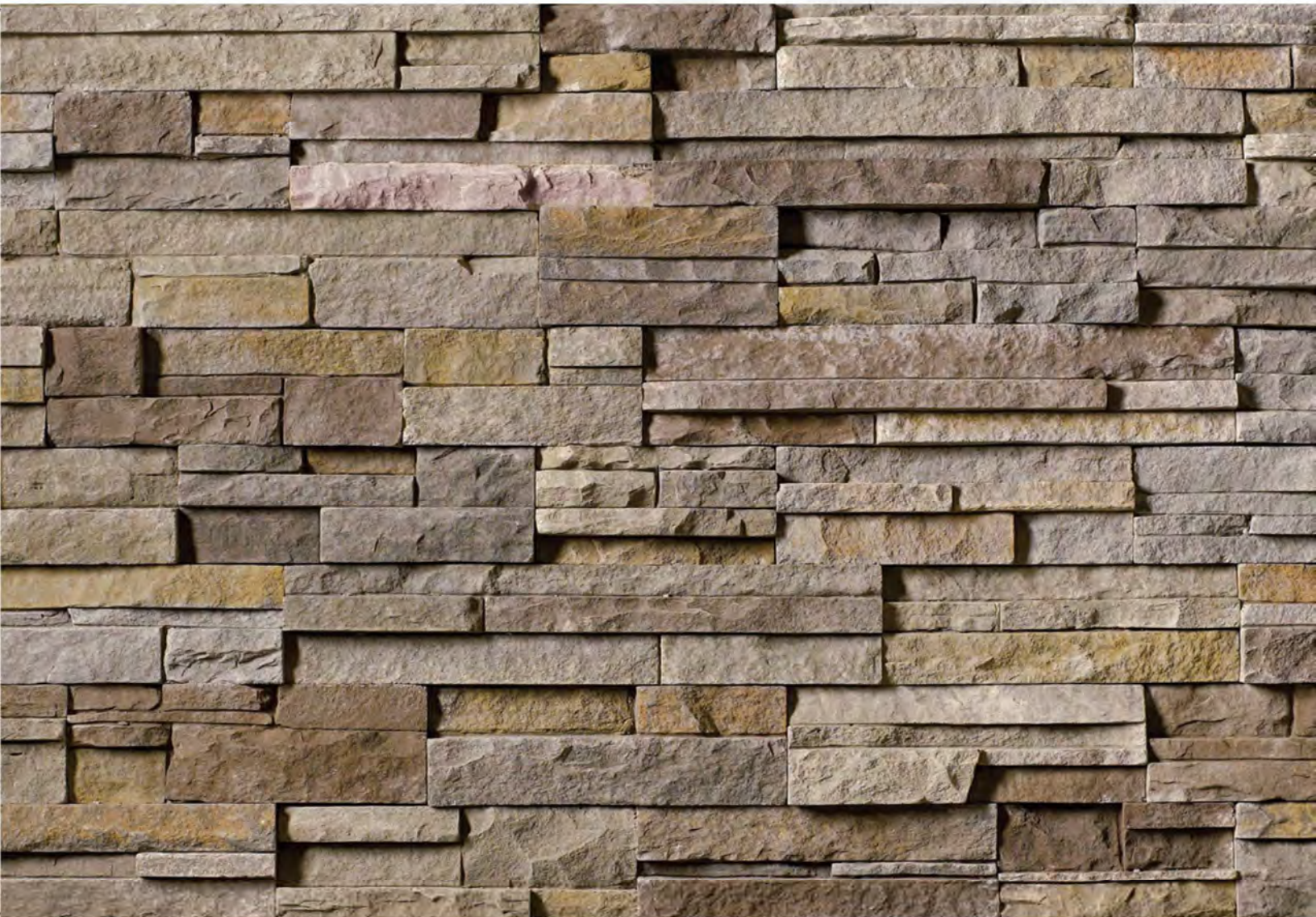


# A-100<sup>®</sup>

## Exterior Latex Satin

A82W00107 White  
 A82W00151 Extra White  
 A82W00153 Deep Base  
 A82T00154 Ultradeep Base

| <u>SURFACE PREPARATION</u>  | <u>SURFACE PREPARATION</u>  | <u>CAUTIONS</u>  |
|---|---|--|
| <p><b>Masonry, Concrete, Block</b><br/>           All new surfaces must be cured according to the supplier's recommendations—usually about 30 days. Remove all form release and curing agents. Rough surfaces can be filled to provide a smooth surface. If painting cannot wait 30 days, allow the surface to cure 7 days and prime the surface with Loxon Acrylic Primer. Cracks, voids, and other holes should be repaired with an elastomeric patch or sealant.</p> <p><b>Steel</b><br/>           Rust and mill scale must be removed using sandpaper, wire brush, or other abrading method. Bare steel must be primed the same day as cleaned.</p> <p><b>Stucco</b><br/>           Remove any loose stucco, efflorescence, or laitance. Allow new stucco to cure at least 30 days before painting. If painting cannot wait 30 days, allow the surface to dry 7 days and prime with Loxon Concrete &amp; Masonry Primer. Repair cracks, voids, and other holes with an elastomeric patch or sealant.</p> <p><b>*Vinyl or other PVC Building Products</b><br/>           Clean the surface thoroughly by scrubbing with warm, soapy water. Rinse thoroughly, prime with appropriate white primer. Do not paint vinyl with any color darker than the original color. Do not paint vinyl with a color having a Light Reflective Value (LRV) of less than 56. Painting with darker colors lower than an LRV of 56 may cause vinyl to warp. Follow all painting guidelines of the vinyl manufacturer when painting. Only paint properly installed vinyl siding. Deviating from the manufacturer's painting guidelines may cause the warranty to be voided.</p> <p><b>Wood, Plywood, Composition Board</b> Clean the surface thoroughly then sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All new and patched areas must be primed. Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. If applied to these bare woods, it may show some staining. If staining persists, spot prime severe areas with 1 coat of Exterior Oil-Based Wood Primer prior to using.</p> | <p><b>Mildew</b><br/>           Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised. Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.</p> <p style="text-align: center;"><b><u>APPLICATION</u></b></p> <p>When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the <b>air, surface, and material temperature</b> are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours. Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.<br/>           No reduction necessary.</p> <p><b>Brush</b><br/>           Use a nylon/polyester brush.</p> <p><b>Roller</b><br/>           Use a 3/8" - 3/4" nap synthetic cover.</p> <p><b>Spray—Airless</b><br/>           Pressure..... 2000 psi<br/>           Tip..... .015"-.019"</p> | <p>For exterior use only.<br/>           Protect from freezing.<br/>           Non-photochemically reactive.<br/>           Not for use on floors.</p> <p>Before using, carefully read <b>CAUTIONS</b> on label.</p> <p>HOTW 10/06/2017 A82W00151 37 36<br/>           KOR, Viet, SP, FRC</p> <p style="text-align: center;"><b><u>CLEANUP INFORMATION</u></b></p> <p>Clean spills, spatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with a compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.</p> <p>The information and recommendations set forth in this Product Data Sheet are based upon tests conducted by or on behalf of The Sherwin-Williams Company. Such information and recommendations set forth herein are subject to change and pertain to the product offered at the time of publication. Consult your Sherwin-Williams representative or visit <a href="http://www.paintdocs.com">www.paintdocs.com</a> to obtain the most current version of the PDS and/or an SDS.</p> |



## Pro-Fit® Alpine Ledgestone - Pheasant

*The product colors you see are as accurate as current photography and printing techniques allow.*



## Pro-Fit® Alpine Ledgestone - Black Mountain®

*The product colors you see are as accurate as current photography and printing techniques allow.*



## Country LedgeStone - Echo Ridge®

*The product colors you see are as accurate as current photography and printing techniques allow.*



## Cobblestone® - San Francisco

*The product colors you see are as accurate as current photography and printing techniques allow.*

# Independence 1 Light 8 inch Architectural Bronze Outdoor Wall, Small



## Product Specifications

### Product Information

Brand: Kichler

Brand Category: Outdoor Wall

Shipping Method: Ground

SKU: 9236AZ

UPC: 783927923644

### Electrical and Operational Information

Lamping Category: Incandescent

Lamping Included: Bulbs Not Included

Lamping Type: BR40

Primary Number of Bulbs: 1

Socket: E26 (Medium)

Total Number of Bulbs: 1

Voltage: 120

Wattage Max: 120.00

### Dimensions and Measurements

Backplate/Canopy Height: 4.75

Backplate/Canopy Width: 5

Extension: 8.5

Height: 7.75

Weight: 1.25

Width: 5.75

### Warranty and Specifications

Country of Origin: CN

Dark Sky: Yes

Height from Center of Wall Opening: 4

Location Rating: Suitable for Wet Locations

UL Ratings: cETLus Listed Wet


### Additional Details

#### Features:

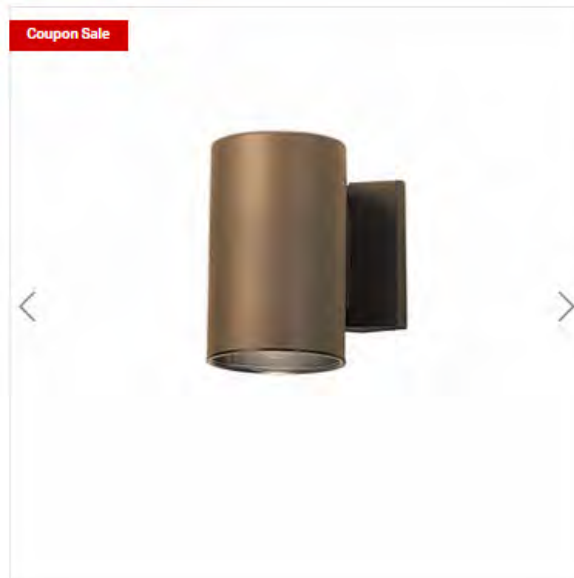
- Slope Ceiling Kit: N
- Ceiling Wall Mount Included: N
- Install Glass Up or Down: N
- Low Ceiling Adaptable: N

Material: Aluminum

### Product Documentation

 [Install Sheet](#)

# Independence I Light 7 inch Architectural Bronze Outdoor Wall, Small



## Product Specifications

### Product Information

Brand: Kichler

Brand Category: Outdoor Wall

Shipping Method: Ground

SKU: 9234AZ

UPC: 783927923446

### Electrical and Operational Information

Lamping Category: Incandescent

Lamping Included: Bulbs Not Included

Lamping Type: BR30

Primary Number of Bulbs: 1

Socket: E26 (Medium)

Total Number of Bulbs: 1

Voltage: 120

Wattage Max: 65.00

### Dimensions and Measurements

Backplate/Canopy Height: 5

Backplate/Canopy Width: 4.75

Extension: 7

Height: 7

Weight: 0.95

Width: 4.75

### Warranty and Specifications

Country of Origin: CN

Dark Sky: Yes

Height from Center of Wall Opening: 3.5

Location Rating: Suitable for Wet Locations

UL Ratings: cETLus Listed Wet

### Additional Details

#### Features:

- Slope Ceiling Kit: N
- Ceiling Wall Mount Included: N
- Install Glass Up or Down: N
- Low Ceiling Adaptable: N

Material: Aluminum

### Product Documentation

 [Install Sheet](#)

# ROOFING SPECS

Revised: 10-01-23

Manufacturer: [IKO](#)

Distributor: Roofline (Oregon and Idaho)  
Western Materials (Washington)

Warranty: [Limited Lifetime Warranty](#)

Style and Colors: Cambridge- Dual Black

[Cambridge brochure and specs \(click here\)](#)

[Installation Instructions \(click here\)](#)



Cambridge - Dual Black

## SPECIFICATIONS & STANDARDS

### Specifications

|                                |                                      |
|--------------------------------|--------------------------------------|
| Size:                          | 1038 mm x 349 mm (40 7/8" x 13 3/4") |
| Exposure:                      | 149 mm (5 7/8")                      |
| Coverage Per Package:          | 3.1 m <sup>2</sup> (33.3 sq. ft.)    |
| Qty Per Pallet:                | 56 bundles                           |
| Shingles Per Square:           | 60                                   |
| Quantity Per Unit/Package:     | 20 shingles/bundle                   |
| Warranty Term:                 | Limited Lifetime <sup>1</sup>        |
| Limited Wind Warranty Upgrade: | 210 km/h / 130 mph <sup>1,2</sup>    |
| Fire Resistance Rating:        | Class A                              |
| Iron Clad Protection Period:   | 15 years <sup>1</sup>                |

### Standards:

ASTM D3462  
ASTM D3018  
ASTM D3161- Class F  
ASTM E108 - Class A  
ASTM D7158 - Class H  
CSA A123.5  
CSA A123.51  
Miami-Dade Approved<sup>3</sup>

Product is designed and tested to comply with ASTM/CSA Standards at time of manufacture prior to packaging.

<sup>1</sup> See Limited Warranty for complete terms, conditions, restrictions and application requirements.

<sup>2</sup> High Wind Application is required.

<sup>3</sup> NOA # 11-0517.09 for Cambridge product made in Kankakee. Expiry date 5/5/2016

\*\*Blue granules may fade after extensive exposure to the sun's ultraviolet rays.

Note: All values shown are approximate. IKO strives to accurately reproduce the screen images of the shingle swatches and house photos shown. However due to manufacturing variances, the limitations of your monitor resolution, and the variation in natural exterior lighting, actual colors may vary from the images you see. To ensure complete satisfaction, please make your final color selection from several full size shingles and view a sample of the product installed on a home.